

Swimming Pool Enclosure Grading Review Checklist

If your application for Swimming Pool Enclosure has triggered a grading review, please note the following application and subsequent drawing submission requirements:

- ❖ A Site Alteration Permit **will be required** if the pool construction is in advance of final grading approval.
- ❖ A Site Alteration Permit **may be required** if any proposed retaining wall whose height is greater than or equal to 0.5m from existing grades.
- ❖ Aggregate changes in grade **in excess of 0.5m will not be permitted.**
- ❖ A Site Alteration Permit **will be subject to review** as per Section 11(4) of the Site Alteration Bylaw No. 19-286.

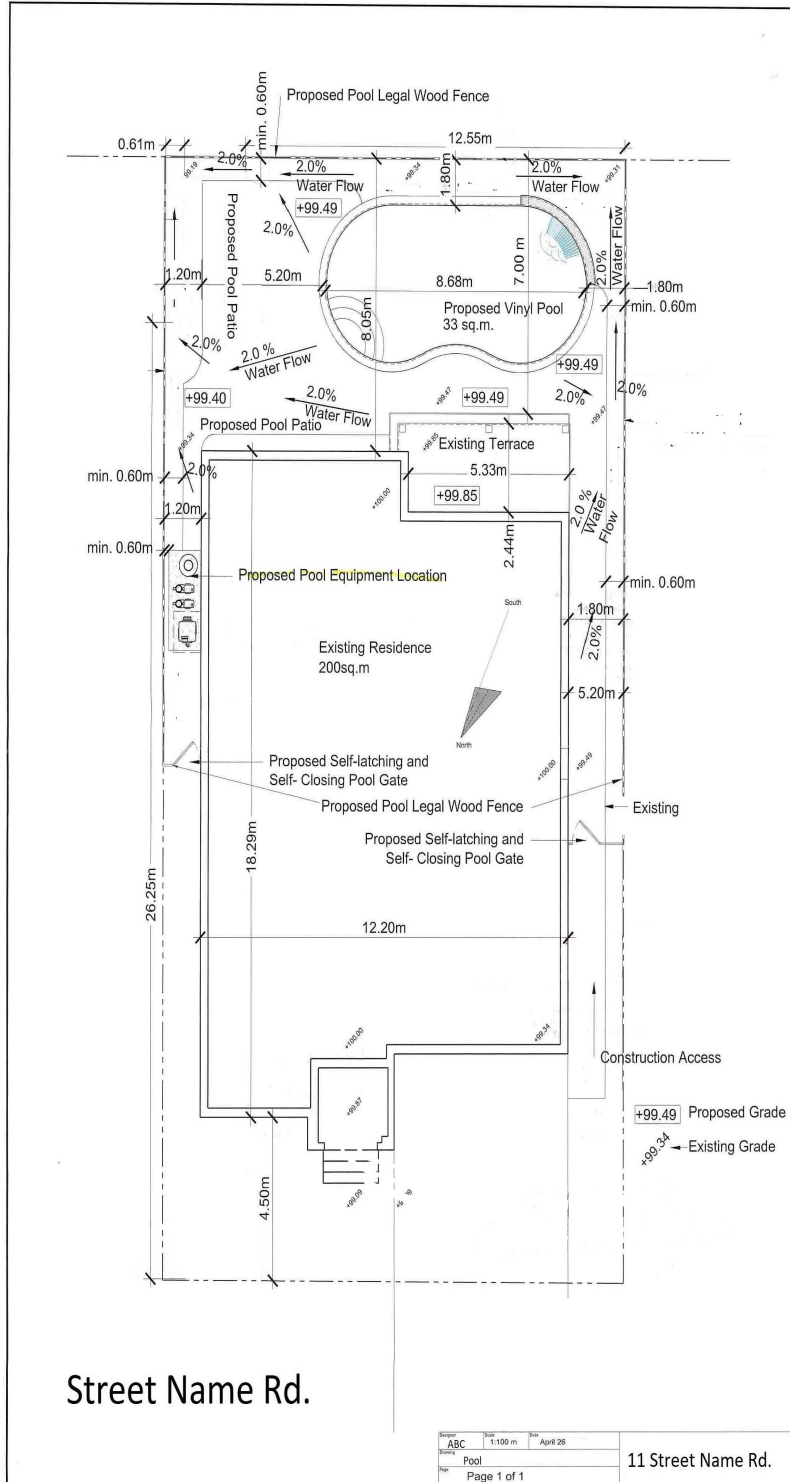
All drawings submitted for review should be prepared by a landscape professional or pool contractor, handwritten drawings will not be accepted. Sufficient survey points should be provided to determine the drainage pattern with the following details:

- North arrow, street name and property address.
- Limits of the full property with property lines and existing buildings, including lot width.
- Location of dwelling and any accessory buildings or structures on the property.
- Size and shape of proposed pool.
- Pool location, height above grade for in-ground and above-ground pools including setbacks to property lines.
- Any utility or Easements containing municipal infrastructure, if any.
- Existing catch basins or other drainage features such as swales, infiltration galleries on the property.
- Existing or proposed drainage patterns, swales, grades and stormwater discharge point.
- Top and bottom of retaining wall elevations, if applicable.

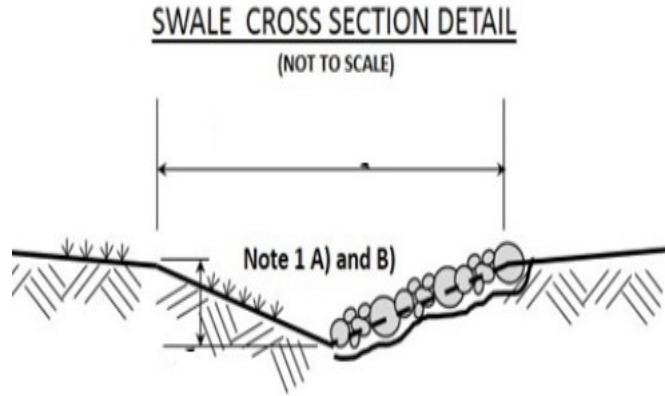
- Sufficient elevations to confirm that grading matches the existing property line grades along neighbouring property lines.
- All landscaping beds, patio areas, walkways, concrete, retaining walls, etc.
- All grades surveyed or estimated from a control point like the backdoor sill (i.e. Elevation of 100.00) or geodetic elevations.
- If an approved grading plan exists, a copy of the approved plan shall be provided. The submitted plan in support of the pool enclosure permit shall meet the general intent of the approved grading plan.

Additional Notes

- ❖ Existing drainage patterns are to remain and no re-direction of drainage will be approved.
- ❖ The obstruction or relocation of drainage swales along the property lines will not be accepted etc.
- ❖ If the property is within the regulated area (Hamilton Conservation Authority, Conservation Halton, Grand River Conservation, Niagara Peninsula Conservation Authority), a permit may be required.
- ❖ If works are proposed on the adjacent property, written approval from the affected property owner will be required prior to the issuance of a site alteration permit.
- ❖ Should a site alteration permit be required the grading plan shall be required to be designed by a P. Eng., once complete, it shall be certified by a P. Eng. and inspected by City Staff prior to release of securities.
- ❖ It is up to the property owner to obtain adjacent property owners consent to grade and/or restore any damage to adjacent properties.



Sample Drawing for Submission



1. The drainage swale shall be stabilized with either A) Topsoil and sod or B) filter cloth and river rock (potato stone). Materials such as fine gravel, mulch are not acceptable.
2. Swale dimensions are to be a minimum of 0.9 m and 150 mm deep or otherwise as indicated on previously approved grading plans.
3. The re-location of drainage swales onto adjacent properties will not be permitted.