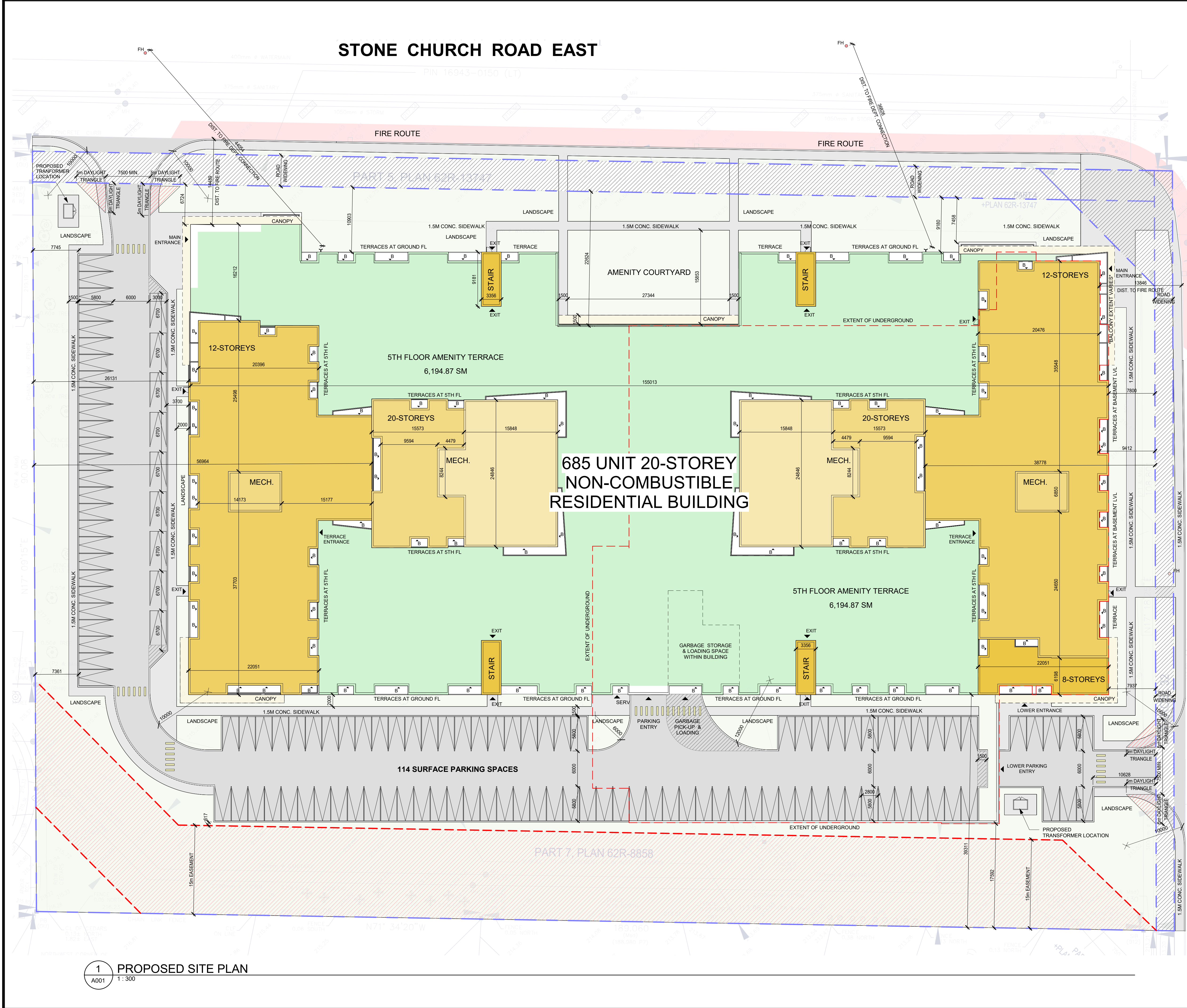


# STONE CHURCH ROAD EAST



CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND JOB CONDITIONS BEFORE PROCEEDING WITH WORK.  
 ALL DRAWINGS MAY BE TO BE SUBJECT TO CHANGE DUE TO COMMENTS FROM MUNICIPAL DEPARTMENTS AND OTHER AGENCIES WITH AUTHORITY.  
 ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECTS AND MUST BE RETURNED AT THE COMPLETION OF THE WORK.  
 THE CONTRACTOR WORKING FROM DRAWINGS NOT SPECIFICALLY MARKED FOR CONSTRUCTION MUST ASSUME FULL RESPONSIBILITY AND BEAR COSTS FOR ANY CORRECTIONS OR DAMAGES RESULTING FROM HIS OR HER WORK.

KEY TO DETAIL LOCATION

No.	DETAIL NUMBER
No.	DRAWING SHEET NUMBER

DRAWING SETS ISSUED FOR CLIENT REVIEW	No.	DATE (DD,MM,YY)	BY
	1	11.08.2023	KNYMH

REVISIONS TO DRAWING	No.	DATE (DD,MM,YY)
NOT FOR CONSTRUCTION		

BUILDING PERMIT NUMBER:  
 NOT FOR CONSTRUCTION WITHOUT PERMIT

## KNYMH

ARCHITECTURE • SOLUTIONS

K N Y M H I N C.  
 1006 SKYVIEW DRIVE • SUITE 101  
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 F 905.639.0394  
 www.knymh.com info@knymh.com

PROJECT NORTH

THIS DOCUMENT IS INCOMPLETE AND MAY BE USED FOR REGULATORY APPROVAL. PERMIT CONSTRUCTION SHALL BE FOR USE BY CONTRACTORS, SUBCONTRACTORS, OWNER AND CONTRACTORS TO PROVIDE THEIR INPUT TO THE DETERMINATION OF THIS DOCUMENT.

## UPPER WELLINGTON CONDOS

1494 UPPER WELLINGTON STREET  
 HAMILTON, ONTARIO

DRAWING SHEET TITLE:  
**SITE PLAN**

DRAWING SCALE:  
 As indicated

PROJECT NUMBER:  
**22452**

DRAWN BY: Author  
 CHECKED BY: Checker

DRAWING SHEET NUMBER:  
**A001**

PLOT DATE:  
 2023-09-05

- SITE PLAN LEGEND**
- B BALCONY ABOVE
  - ▲ BUILDING ENTRANCE/EXITS
  - ⊙ COMPACT CAR SPACE (2800mm x 5800mm)
  - # PARKING SPACE NUMBER
  - ⊕ ACCESSIBLE PARKING SPACE (4400mm x 5800mm)
  - FDC FIRE DEPARTMENT CONNECTION
  - ▭ EXTENT OF UNDERGROUND BELOW
  - ▭ EXTENT OF CANOPIES/BALCONIES ABOVE
- COLOUR HATCH KEY**
- PRINCIPAL BUILDING
  - OUTDOOR TERRACE
  - CANOPY
  - FIRE ROUTE
  - DAYLIGHT TRIANGLE

**TOTAL GROSS FLOOR AREA**

FLOOR	AREA (m²)
UNDERGROUND LEVEL	6845
1st FLOOR	11228
2nd FLOOR	11131
3rd FLOOR	11187
4th FLOOR	11191
5th FLOOR	4736
6th FLOOR	4818
7th FLOOR	4818
8th FLOOR	4818
9th FLOOR	4654
10th FLOOR	4654
11th FLOOR	4654
12th FLOOR	4654
13th FLOOR	1749
14th FLOOR	1669
15th FLOOR	1669
16th FLOOR	1669
17th FLOOR	1669
18th FLOOR	1669
19th FLOOR	1669
20th FLOOR	1669
ROOF	866
TOTAL	103882

**PARKING SCHEDULE**

FLOOR	SPACES
UNDERGROUND LEVEL	142
1st FLOOR	273
2nd FLOOR	165
3rd FLOOR	165
4th FLOOR	165
TOTAL	910

**SUITE BREAKDOWN**

SUITE TYPE	COUNT
1 BED	148
1 BED+D	129
2 BED	206
2 BED+D	102
3 BED	100
TOTAL	685

**SITE STATISTICS (PROPOSED E3 ZONE)**

REGULATION	AS-OF-RIGHT	PROVIDED
NUMBER OF BUILDINGS	N/A	1
GROUND FLOOR AREA	N/A	10,562m²
GFA	N/A	104,459m²
NON-RESIDENTIAL GFA	N/A	0.00
LANDSCAPE OPEN SPACE	40%	32%
PAVED SURFACE AREA	N/A	6,128m²
BUILDING HEIGHT	8 STOREYS OR 26.0m	20 STOREYS @ 67m
LOT AREA (min)	1350 m²	24,095m²
LOT WIDTH(min)	30.0 m	189m
FRONT YARD (min)	3.0 m	-
FRONT YARD (max)	7.5 m	4m
REAR YARD (min)	3.0 m	-
REAR YARD (max)	N/A	2m
INTERIOR SIDE YARD (min)	1.5 m	-
INTERIOR SIDE YARD (max)	13.5 m	2m
EXTERIOR SIDE YARD (min)	3.0 m	-
EXTERIOR SIDE YARD (max)	13.5 m	3m
FLOOR AREA RATIO	2.55	4.33
PARKING (min)	N/A	910 SPACES
ACCESSIBLE PARKING	N/A	23 SPACES
BICYCLE PARKING	N/A	162 SPACES
LOADING SPACES	N/A	1 SPACE

**1 PROPOSED SITE PLAN**  
 A001 1:300