

24 RESIDENTIAL UNITS
1,592sm GFA
178sm AMENITY



DESIGN REVIEW PANEL PRESENTATION

233-235 Hunter Street East

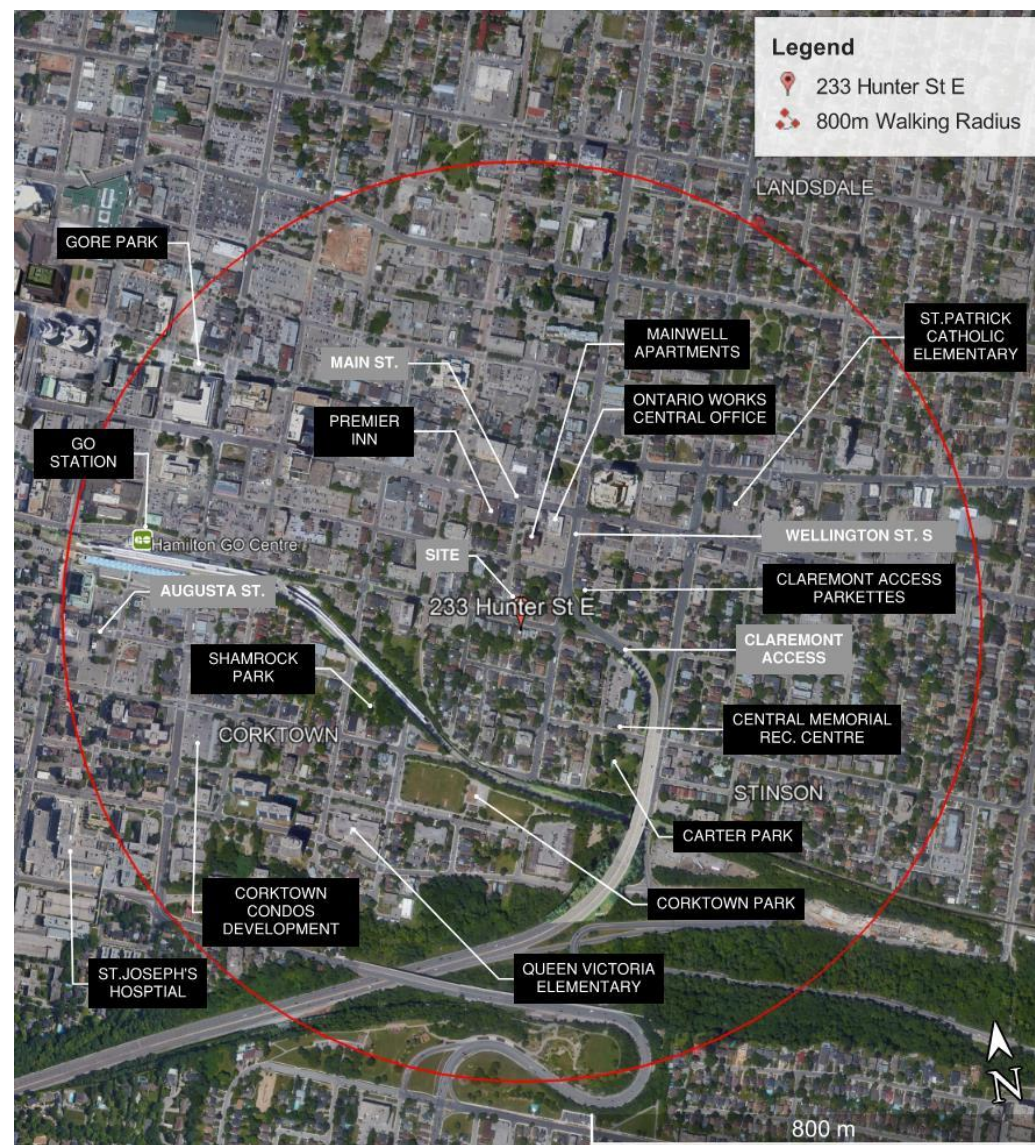
LINTACK ARCHITECTS

INCORPORATED

DESIGN PROPOSAL

NEIGHBOURHOOD & COMMUNITY INTERESTS

- PARKS & PARKETTES
- TRANSIT STOPS
- MAJOR CORRIDORS
- SCHOOLS
- EMPLOYMENT DISTRICTS
- SHOPPING / RESTAURANTS
- RECREATIONAL CENTRES
- PROPOSED DEVELOPMENTS



DESIGN REVIEW PANEL PRESENTATION
233-235 Hunter Street East

LINTACK ARCHITECTS
INCORPORATED

800m RADIUS – NEIGHBOURHOOD & COMMUNITY SITE CONTEXT



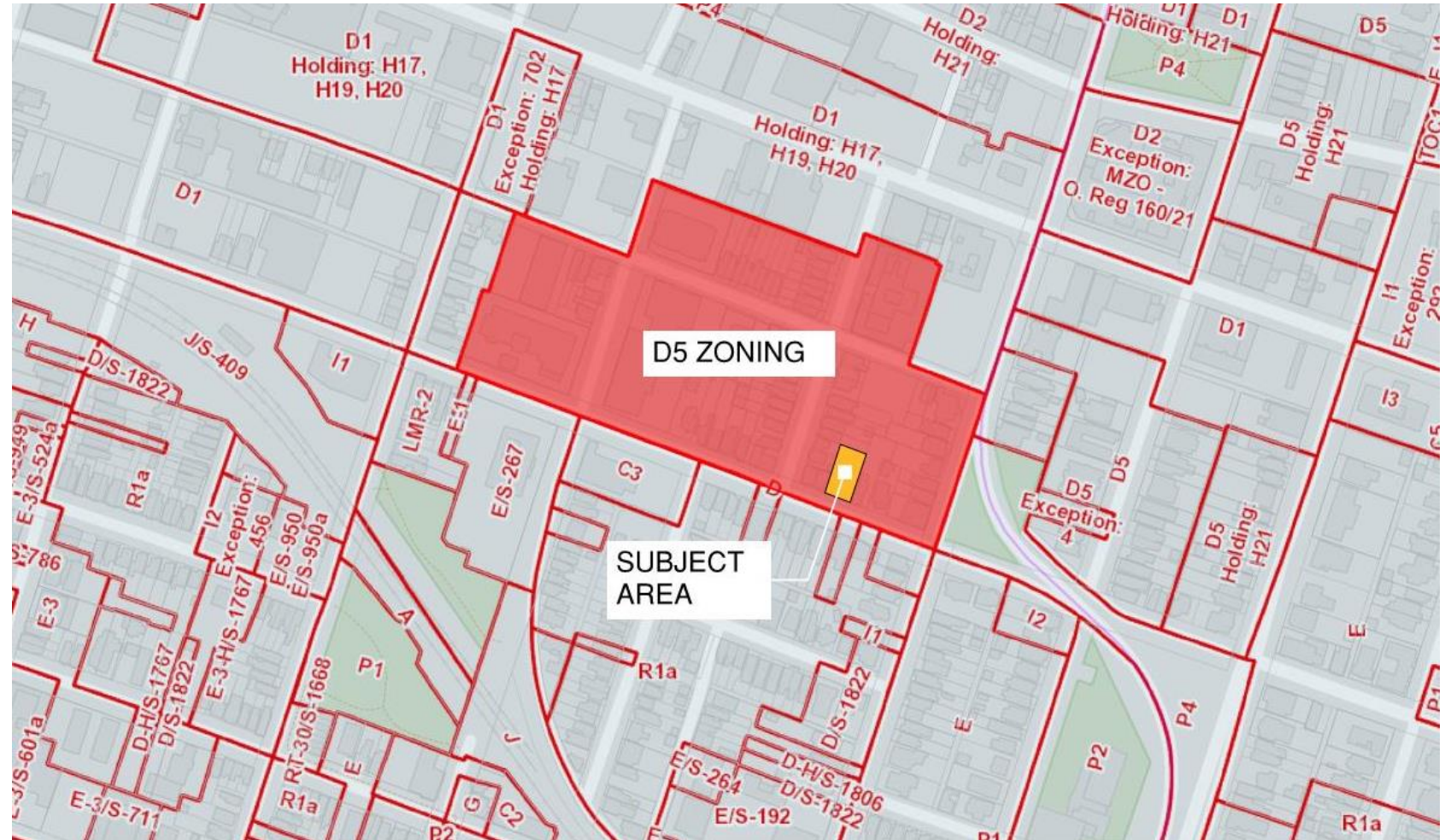
DESIGN REVIEW PANEL PRESENTATION
233-235 Hunter Street East

LINTACK ARCHITECTS
INCORPORATED

SITE CONTEXT WITHIN DOWNTOWN

D5 DOWNTOWN RESIDENTIAL ZONE

The D5 Zone applies to stable residential areas in the Downtown. A balance of both commercial and residential uses is required to create a healthy and vibrant Downtown Core. The intent of the D5 Zone is to maintain residential areas by allowing for a range of housing forms and create opportunities for the integration of retail and commercial uses to meet the daily needs of the local residents.





DESIGN REVIEW PANEL PRESENTATION
233-235 Hunter Street East

LINTACK ARCHITECTS
INCORPORATED

CONTEXT IMAGE POINTS



DESIGN REVIEW PANEL PRESENTATION
233-235 Hunter Street East

LINTACK ARCHITECTS
INCORPORATED

CONTEXT IMAGE 1
HUNTER STREET LOOKING WEST



DESIGN REVIEW PANEL PRESENTATION
233-235 Hunter Street East

LINTACK ARCHITECTS
INCORPORATED

CONTEXT IMAGE 2
HUNTER STREET LOOKING EAST

Site Description and Location

The site is located on the north side of Hunter Street East between Spring Street and Wellington Street South. The site is currently home to a 2-story side-by-side duplex with vinyl siding. The site is relatively flat in elevation, sloping slightly from the south-west corner to the north-east corner of the site.

Site Context

The site's immediate Hunter Street East frontage context is characterized by mostly two and two and a half-storey brick single and side-by-side duplex houses. On the north-west corner of Hunter Street East and Wellington Street South, there is a 2-storey mixed use building with ground floor retail and one residential storey above. Adjacent to the subject property, immediately to the west, west is a two and a half-storey multiple dwelling duplex. Immediately to the east of the subject property is a two-storey stucco duplex building.

Streetscape Context in the Area of the Site

Hunter Street East is Collector Road on Schedule C of the Urban Hamilton Official Plan. To the east, Wellington Street South is a "Major Arterial Road" on Schedule C. Hunter Street East is a single-lane one-way road running west to east between Wellington Street South and Spring Street. Additionally, there is a parking lane as well as two bike lanes, one running in each direction. Buildings along this stretch of Hunter Street East have little setback and are typically two and two and a half storey brick buildings.

Design Brief

The site of 233-235 Hunter Street East is a currently the home of a vinyl siding clad side by side duplex residence. The proposed design for this location will be a 24-unit mid-rise residential building.

1.3.1 Urban Hamilton Official Plan (a) Neighbourhoods Designation Policies

The governing policy document with respect to urban design for this development is the Urban Hamilton Official Plan (UHOP). Under that document the site is designated as "Neighbourhoods" on Schedule E. Per Section E.3.2., the plan seeks to maintain the existing neighbourhood character with residential intensification that enhances and is *"compatible with the scale and character of the existing residential neighbourhood"*. Specifically, development within the designation is to be *"designed to be safe, efficient, pedestrian oriented and attractive"*.

(b) Residential Intensification Policies

Residential intensification within the Neighbourhoods designation is to be evaluated based on the following considerations from Per Section B.2.4.2.2 of the Official Plan:

- a) The general residential intensification policies of Section B.2.4.1.4, specifically the relationship to existing neighbourhood character, contribution to achieving a range of dwelling types and tenures, and contribution to achieving the planned urban structure.
- b) compatibility with adjacent land uses including matters such as shadowing, overlook, noise, lighting, traffic, and other nuisance effects;
- c) the relationship of the proposed building(s) with the height, massing, and scale of nearby residential buildings;
- d) the consideration of transitions in height and density to adjacent residential buildings;
- e) the provision of amenity space and the relationship to existing patterns of private and public amenity space;
- f) the ability to respect and maintain or enhance the streetscape patterns including block lengths, setbacks and building separations;
- g) the ability to complement the existing functions of the neighbourhood.

(c) Urban Design Policies

The following design principles from Section B.3.3.2 of the Official Plan are relevant to the site and the proposed development:

- Urban design that fosters a sense of community pride and identity (Section 3.3.2.3);
- Quality spaces that physically and visually connect the public and private realms (Section 3.3.2.4);
- Compatible new development and redevelopment that enhances the character of the existing environment (Section 3.3.2.6);
- Places that are adaptable in accommodating future change (Section 3.3.2.7).

The following design policies from Section 3.3.3 to 3.3.10 of the Official Plan are relevant to the site and the proposed development:

- New development located and organized to fit within the existing or planned context of an area (Section 3.3.3.1);
- New development designed to minimize impact on neighbouring buildings and public spaces (Section 3.3.3.2);
- New development massed to respect existing and planned street proportions (Section 3.3.3.3);
- New development that defines the street through consistent setbacks and building elevations (Section 3.3.3.4)
- Built form that creates comfortable pedestrian environments (Section 3.3.3.5);
- Transit access enhanced through connections, building entrances, and amenities (Section 3.3.9.6);

1.3.2 Site Plan Guidelines

The following design guidelines from Section 6.4 of the Hamilton Site Plan Guidelines, regarding apartment buildings, are relevant for the site and the proposed development:

Site Design

1. Apartment buildings should be oriented to the street to define the street space and promote a pedestrian oriented streetscape.
2. Sited to minimize shadowing and privacy impacts on adjacent housing.
3. Site design should consider building orientation, facing distances to promote privacy and mitigate overlooks.

Landscaping and Open Space

1. Site design and landscaping should make a clear distinction between public and private space.
2. Private open space provided in the form of balconies, terraces, and rooftop gardens.

Zoning

The governing zoning document is 05-200. The site is zoned Downtown Residential (D5). The intent of the D5 Zone is to maintain residential areas by allowing for a range of housing forms and create opportunities for the integration of retail and commercial uses to meet the daily needs of the local residents.

6.5.1 Permitted Uses Includes: Multiple Dwelling

6.5.3 Regulations

6.5.3.4

a) Minimum Lot Area	300.0 square metres;
b) Minimum Lot Width	12.0 metres;
c) Maximum Front Yard	4.5 metres;
d) Maximum Side Yard	7.5 metres;
e) Maximum Flankage Yard	3.0 metres;
f) Minimum Rear Yard	7.5 metres;

- g) Building Height
 - i) Minimum 7.5 metres; and,
 - ii) Maximum Building Height shall be in accordance Figure 1 of Schedule "F" – Special Figures = 44.0m

- h) Minimum Amenity Area for Dwelling Units and Multiple Dwellings

On a lot containing more than 10 dwelling units, the following Minimum Amenity Area requirements to be provided:

 - i) An area of 4.0 square metres for each dwelling unit; and,
 - ii) In addition to the definition of Amenity Area in Section 3: Definitions, an Amenity Area located outdoors shall be unobstructed and shall be at or above the surface, and exposed to light and air.

- i) Green Roof for Multiple Dwelling

Notwithstanding Section 6.5.3.4 h) i) above, for every 0.5 square metres of Green Roof area provided, the required Amenity Area may be reduced by 1.0 square metre.

- j) Minimum Landscaped Area for Multiple Dwellings

Not less than 10% of the lot area shall be landscaped area.

5.6 Parking Schedules

a) Parking Schedule for All Downtown Zones		Minimum	Maximum
a) Multiple Dwelling			
i) Dwelling units less than 50.0 square metres in gross floor area			
Units 1-12		0 per unit	1.25 per unit
Units 13+		0.3 per unit	
ii) Units greater than 50.0 square metres in gross floor area			
Units 1-12		0 per unit	1.25 per unit
Units 13-50		0.5 per unit	
Units 51+		0.7 per unit	
iii) Units with 3 or more bedrooms			
Units 1-12		0 per unit	1.25 per unit
Units 13+		0.3 per unit	

5.7 Bicycle Parking

- a) Locational Requirements
 - i. Long-term Bicycle Parking Space shall be located in a secure enclosed bicycle parking area.
 - ii. Short-term Bicycle Parking Space shall be located within a bicycle parking area at grade.

- b) In the Downtown (D1), (D2) and (D5) Zones, Transit Oriented Corridor Zones and Commercial and Mixed Use Zones short-term bicycle parking shall be provided in each and every building in the minimum quantity specified in accordance with the following requirements:

i) Residential Uses

All Downtown (D1), (D2), and (D5), TOC and Commercial and Mixed Use Zones:

Multiple Dwelling 5 Short Term Spaces

- c) Notwithstanding Section b) and in addition to c) above, in the Downtown (D1), (D2), and (D5) Zones, Transit Oriented Corridor Zones long-term bicycle parking shall be provided in the minimum quantity specified in accordance with the following requirements.

i) Residential Uses

Multiple Dwelling 0.5 per dwelling unit

Proposed Development

Site Design

The proposed development offers a total of 24 residential units with 22 units on five floors above grade and an additional two residential units, along with building service areas and amenity space partially below grade. The primary building entrance is at grade, with the first-floor level set 1 metre above grade, allowing the basement units to take advantage of larger windows to provide natural daylight. An outdoor amenity area is provided in the rear yard. Pedestrian access to the building will be directly from the sidewalk on Hunter Street East. The proposed building is positioned close to the front lot line in-keeping with the existing building set-backs.

Building Design

The proposed development has been designed to be compatible with the existing built form along Hunter Street. As parking is not required for the proposed unit mix, the building envelope can extend across the frontage of the lot. The building massing is articulated vertically into two projected and one central recessed bay, and articulated horizontally by a 3½-storey base and a stepped back 2-storey top. Materials further articulate the massing with a 2½-storey brick base consistent in scale with the brick and masonry houses on Hunter Street, and a 5th-storey steel clad “attic” level. These two materials are separated by a third and fourth floor of acrylic stucco with a distinctive deep reveal pattern.

The articulation of window openings is primarily vertical, consistent with the prevailing pattern in the neighbourhood. Juliette balconies enliven the Hunter Street lower façade, while projected balconies occur on the upper two levels and on the north side overlooking the common landscaped area.

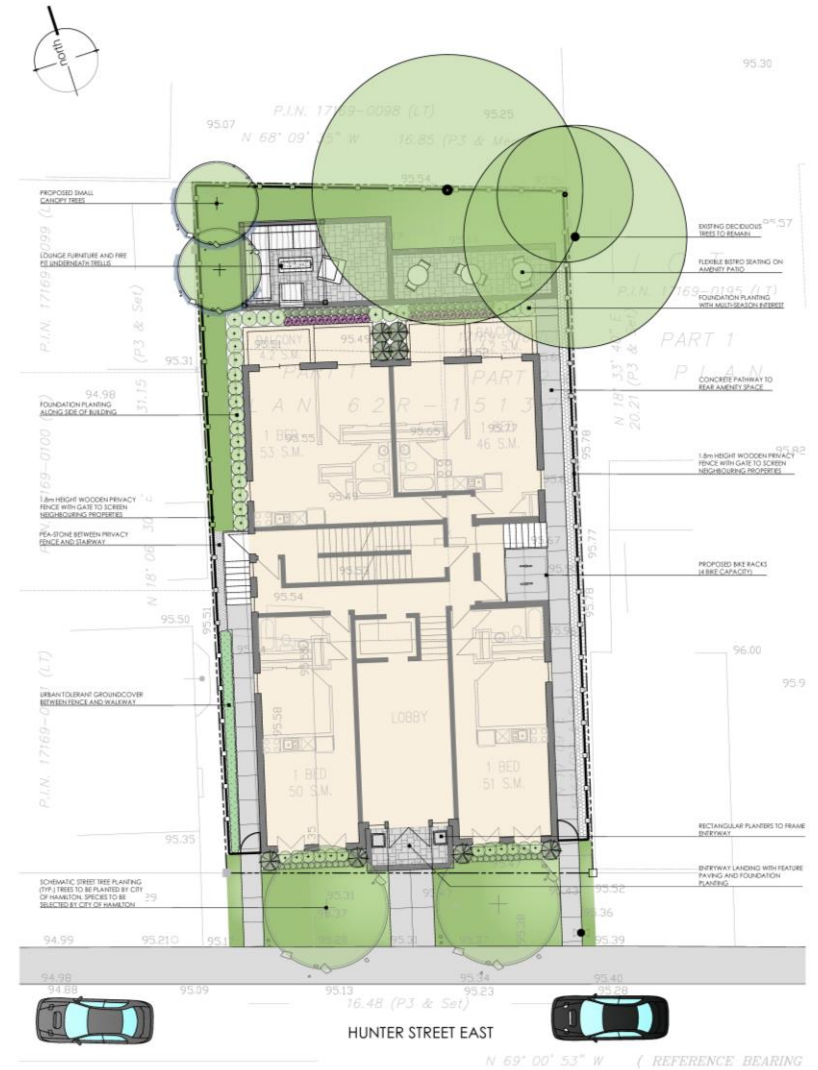
The compact building envelope contains 24 residential dwelling units. Access is provided directly from the sidewalk into a grade level central entrance foyer. An elevator provides barrier free access to the ground floor, which is elevated 1.44 m above the level of the sidewalk. The lower level consequently has larger windows and accommodates building and bike storage, laundry and utility space as well as two residential units fronting onto the communal garden space to the north. The compact units are accessed by the elevator and an efficient scissor stair. The unit mix consists of 2 studio units, 18 one bedroom units and four 1 bedroom plus den units. Units facing south have been configured with living space fronting onto Hunter Street.

LANDSCAPE CONCEPT

The primary intention of the landscape design is to thoughtfully integrate the proposed development within the existing landscape as well as enhance the frontage along Hunter Street.

Through a combination of feature paving and enhanced planting, the frontage of the proposed building is highlighted and entrances and exits to the site are clearly defined.

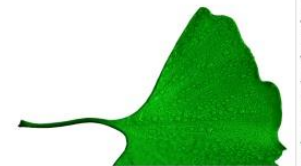
As the proposed development is situated in an urban area, the design carefully balances both hard and softscape elements throughout the site. This idea is carried through in the outdoor amenity area, where a patio and open lawn area have been proposed. This area is a flexible space that can accommodate a wide range of activities.



DESIGN REVIEW PANEL PRESENTATION
233-235 Hunter Street East

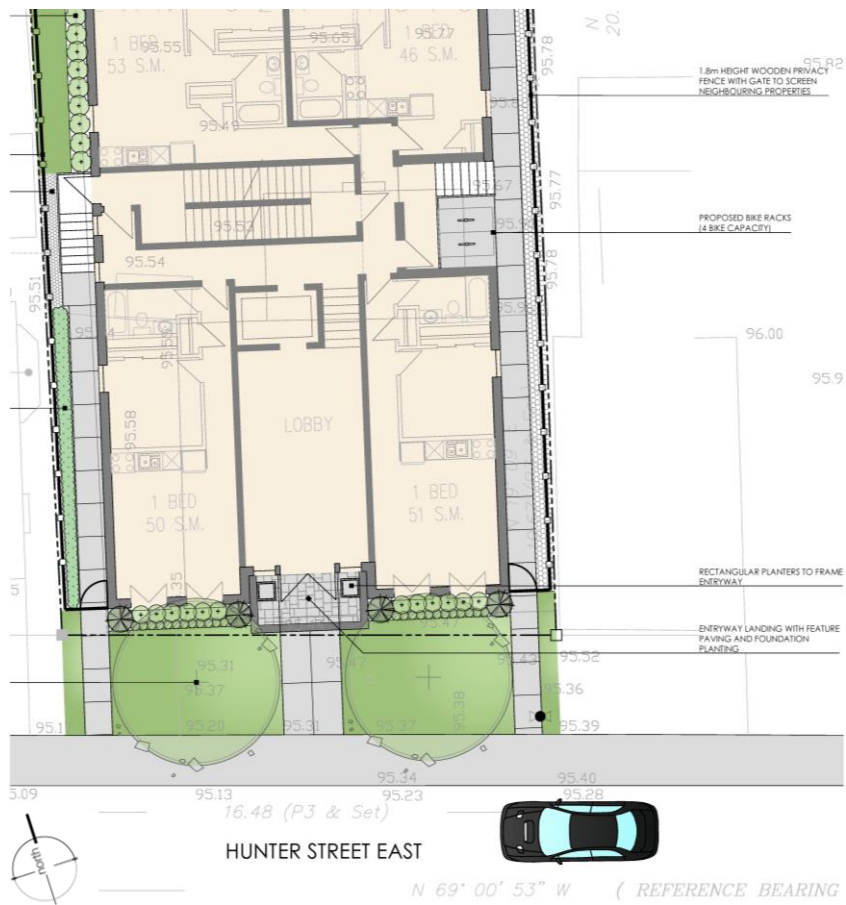
LINTACK ARCHITECTS
INCORPORATED

LANDSCAPE DESIGN



adesso design inc
landscape architecture

LANDSCAPE FEATURES & PRECEDENT IMAGERY



ENTRYWAY LANDING WITH FEATURE PAVING AND FOUNDATION PLANTING



PLANTERS TO FRAME FRONT ENTRANCE

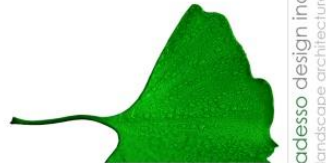


FOUNDATION PLANTING WITH MULTI-SEASON INTEREST PLANTS

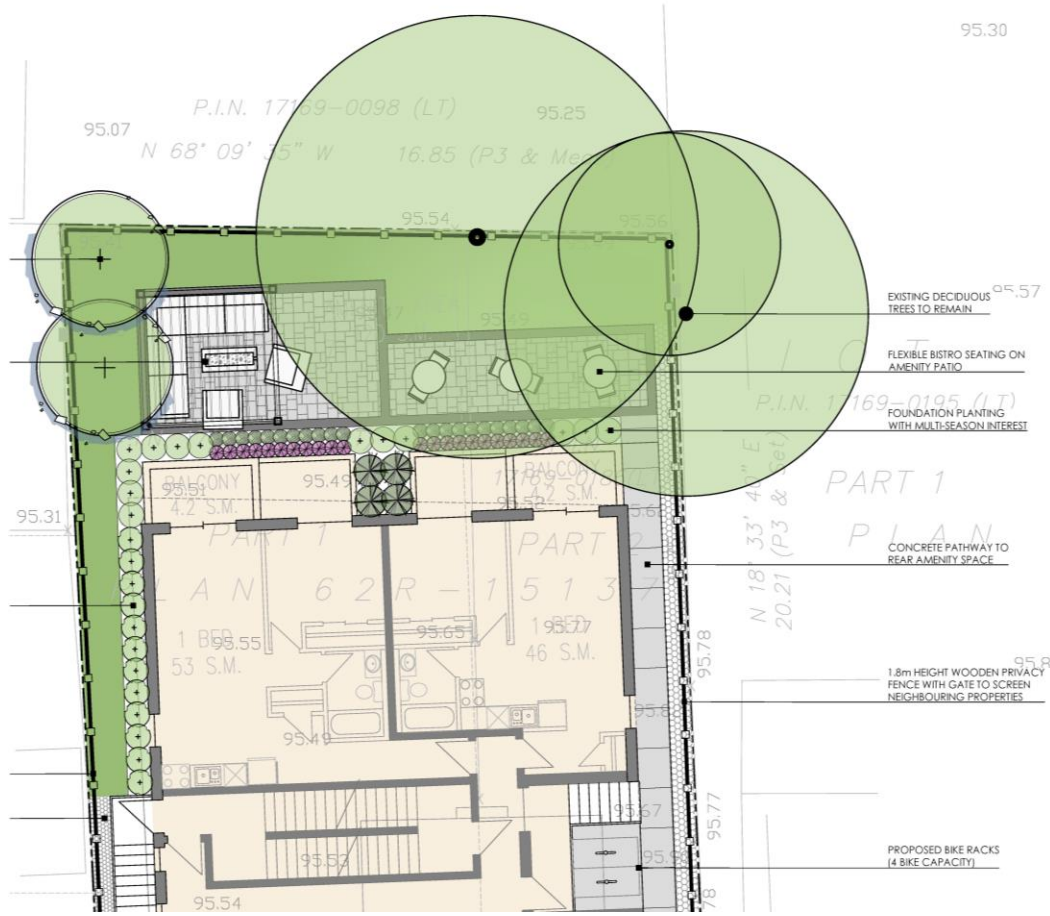
DESIGN REVIEW PANEL PRESENTATION
233-235 Hunter Street East

LINTACK ARCHITECTS
INCORPORATED

LANDSCAPE DESIGN



LANDSCAPE FEATURES & PRECEDENT IMAGERY



LOUNGE FURNITURE AND FIRE PIT UNDERNEATH TRELLIS



FLEXIBLE BISTRO SEATING ON AMENITY PATIO

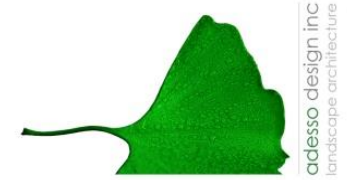


PLANTERS CONTAINING ORNAMENTAL PLANTING

DESIGN REVIEW PANEL PRESENTATION
233-235 Hunter Street East

LINTACK ARCHITECTS
INCORPORATED

LANDSCAPE DESIGN





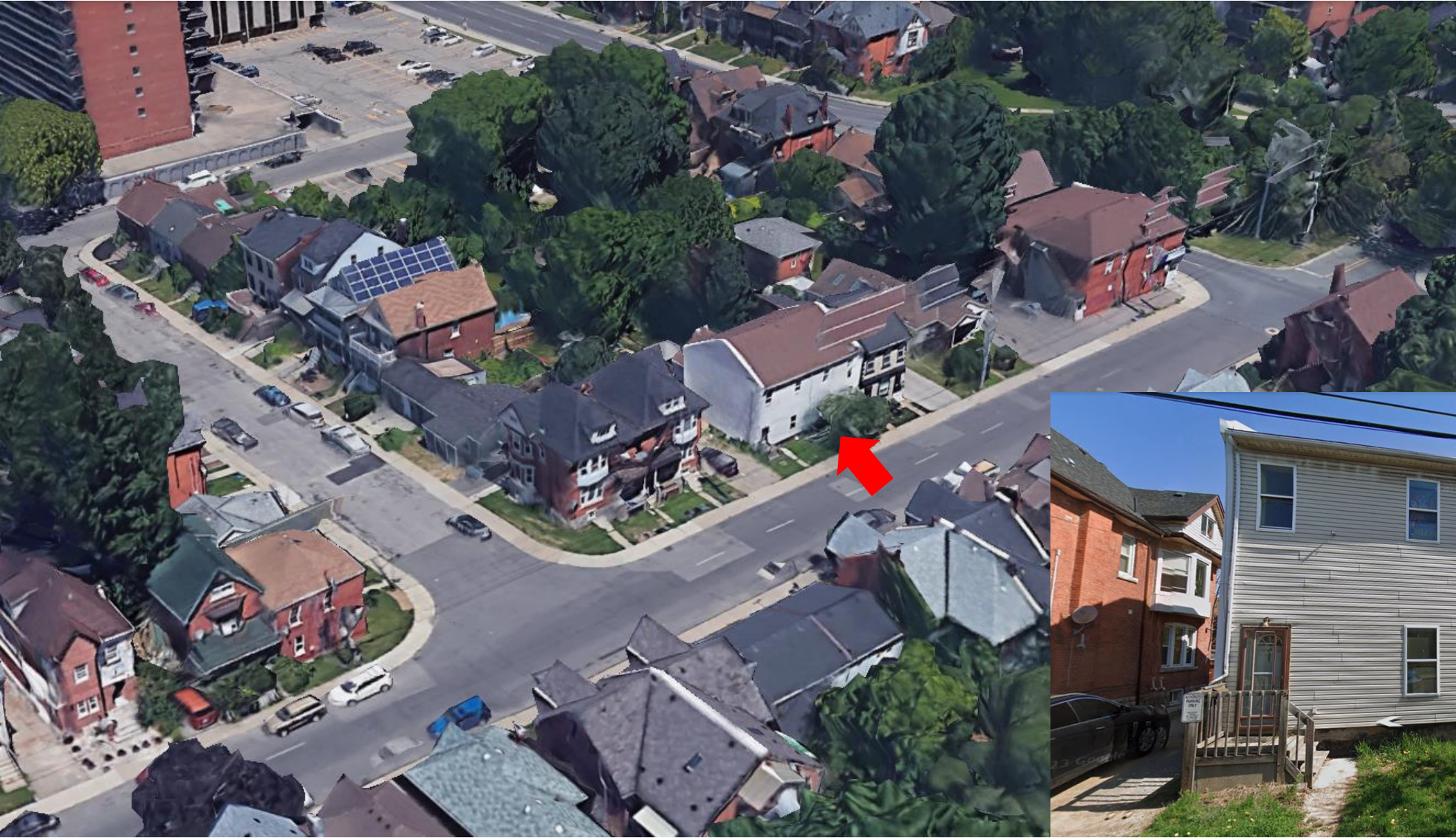
HERITAGE
MAPPING

DESIGN REVIEW PANEL PRESENTATION

233-235 Hunter Street East

LINTACK ARCHITECTS
INCORPORATED

MEGAN HOBSON CAHP
M.A. DIPL. HERITAGE CONSERVATION
BUILT HERITAGE CONSULTANT



CURRENT
CONTEXT



DESIGN REVIEW PANEL PRESENTATION
233-235 Hunter Street East

LINTACK ARCHITECTS
INCORPORATED

MEGAN HOBSON CAHP
M.A. DIPL. HERITAGE CONSERVATION
BUILT HERITAGE CONSULTANT



DESIGN REVIEW PANEL PRESENTATION

233-235 Hunter Street East

LINTACK ARCHITECTS
INCORPORATED

MEGAN HOBSON CAHP
M.A. DIPL. HERITAGE CONSERVATION
BUILT HERITAGE CONSULTANT

CURRENT
CONDITIONS
exterior

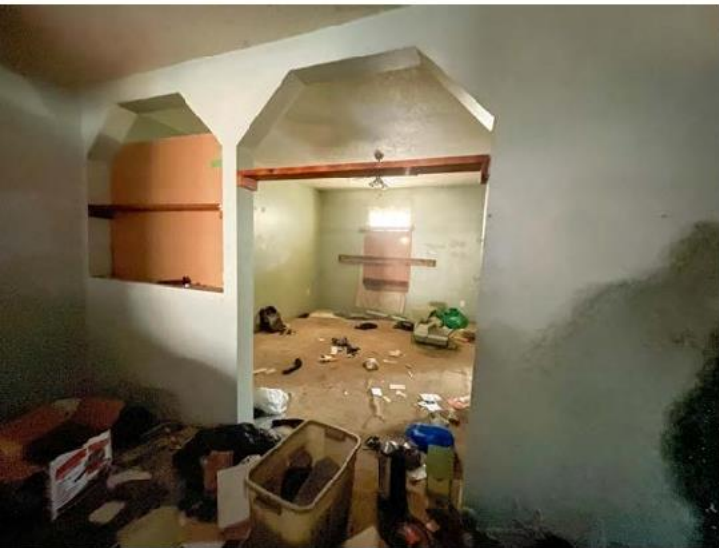


DESIGN REVIEW PANEL PRESENTATION

233-235 Hunter Street East

LINTACK ARCHITECTS
INCORPORATED

MEGAN HOBSON CAHP
M.A. DIPL. HERITAGE CONSERVATION
BUILT HERITAGE CONSULTANT



CURRENT
CONDITIONS
interior

DESIGN REVIEW PANEL PRESENTATION

233-235 Hunter Street East

LINTACK ARCHITECTS

INCORPORATED

MEGAN HOBSON CAHP
M.A. DIPL. HERITAGE CONSERVATION
BUILT HERITAGE CONSULTANT

RECOMMENDED MITIGATION

Re: demolition:

- documentation (historical research & photo documentation)
- controlled demolition to allow material salvage (wood beams & brick)
- shore the foundation of the adjacent heritage building (237 Hunter E)

Re: new development:

- maintain existing grades and ensure adequate drainage (237 Hunter E)
- maintain existing front setback
- reference the height and rhythm of the adjacent heritage building (237 Hunter E) with step backs and material changes for additional floors
- avoid excessive shadowing on adjacent heritage properties on Walnut Street South
- employ contemporary or traditional design elements & cladding materials that are complementary to adjacent heritage buildings



DESIGN REVIEW PANEL PRESENTATION
233-235 Hunter Street East

LINTACK ARCHITECTS
INCORPORATED

PRECEDENT
WITTON LOFTS
MURRAY STREET WEST



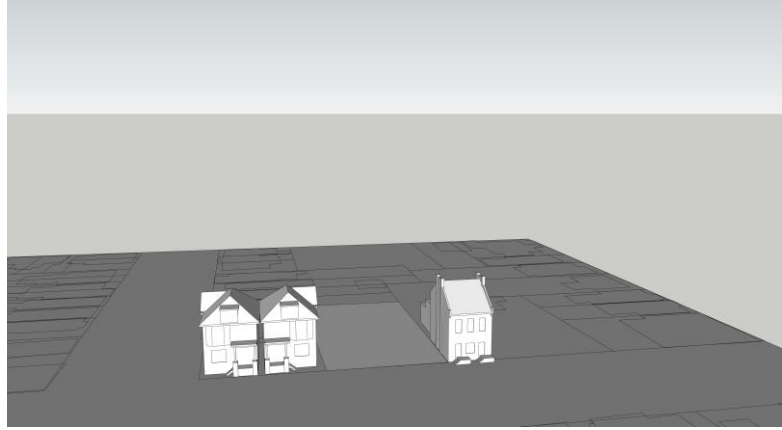
DESIGN REVIEW PANEL PRESENTATION
233-235 Hunter Street East

LINTACK ARCHITECTS
INCORPORATED

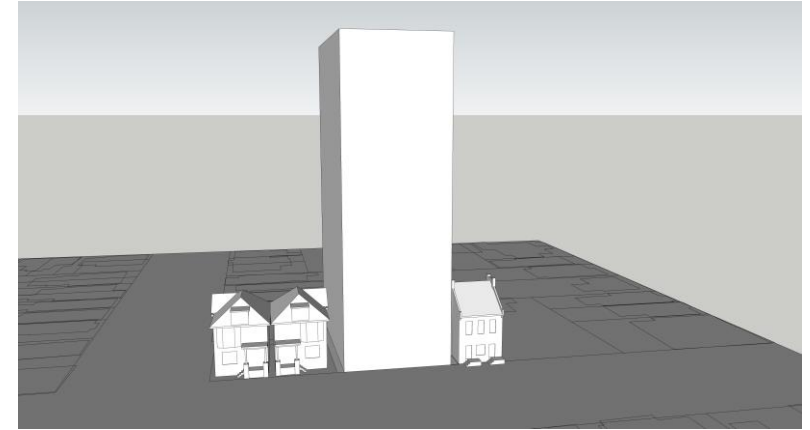
PRECEDENT
CUMBERLAND APARTMENTS
CHARLTON AVENUE WEST



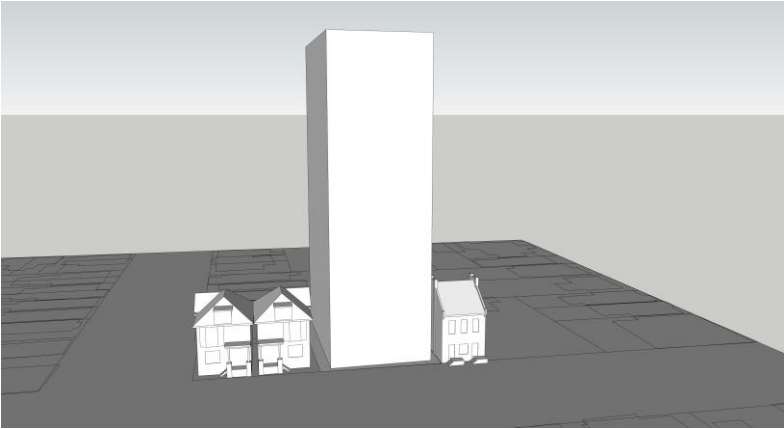
1. EXISTING SITE CONDITION



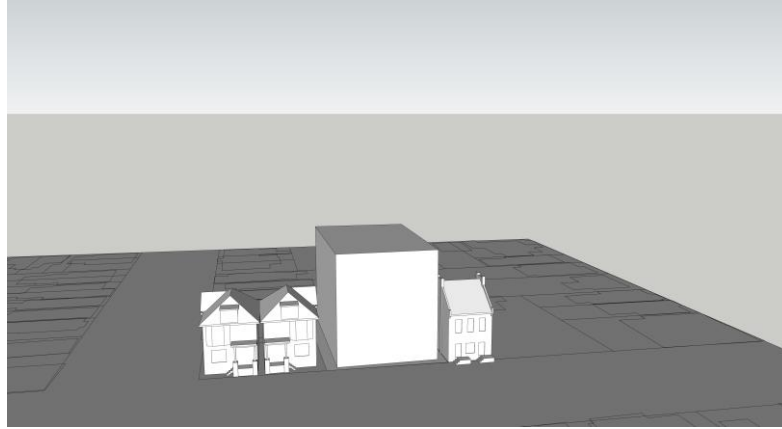
2. SITE DEVELOPABLE AREA



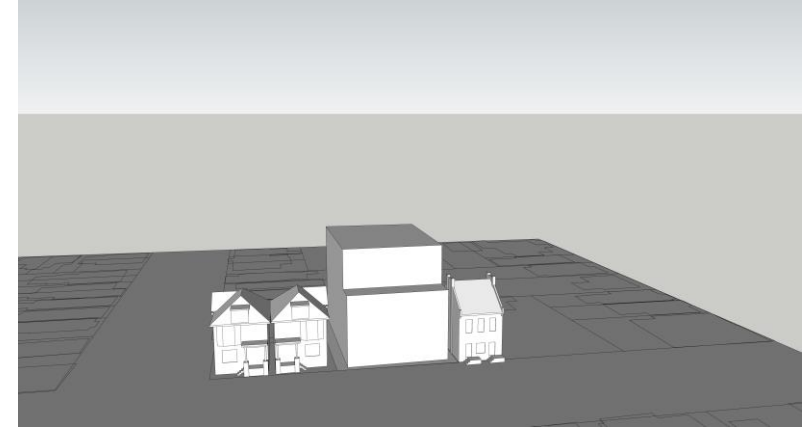
3. MAXIMUM HEIGHT PERMITTED BY EXISTING ZONING



4. INCREASED SIDE AND FRONT YARD SETBACKS



5. REDUCED HEIGHT PROPOSED BY DEVELOPMENT

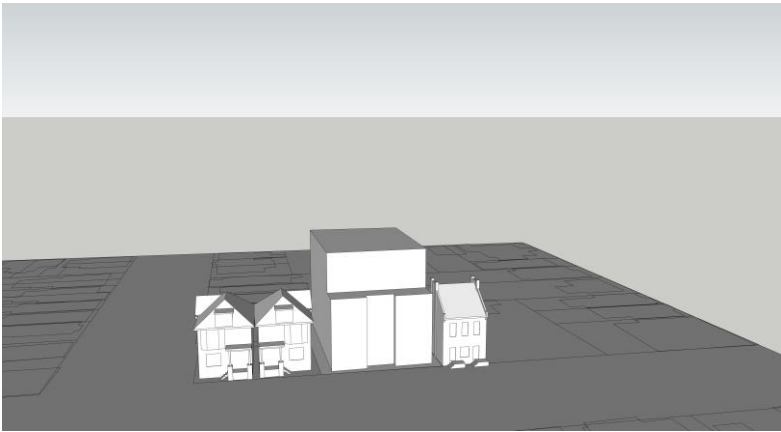


6. STEP-BACK FROM HUNTER STREET ABOVE LEVEL 3

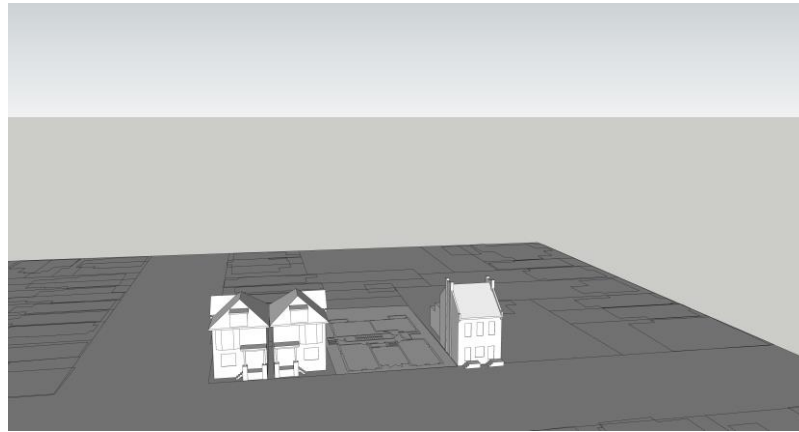
DESIGN REVIEW PANEL PRESENTATION
233-235 Hunter Street East

LINTACK ARCHITECTS
INCORPORATED

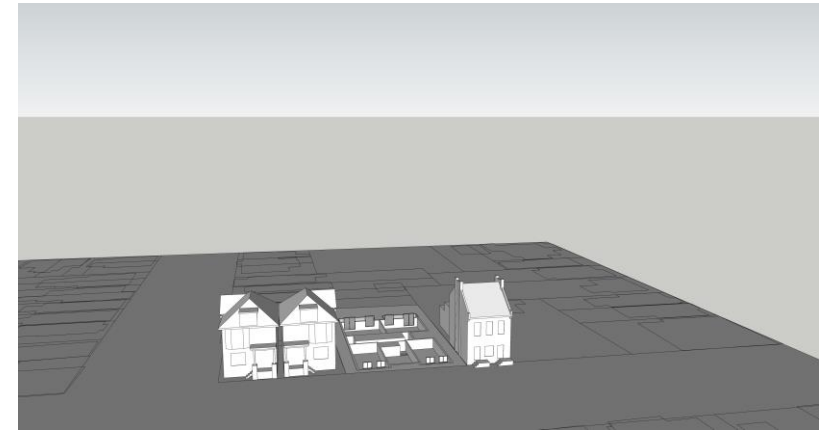
MASSING ILLUSTRATIONS



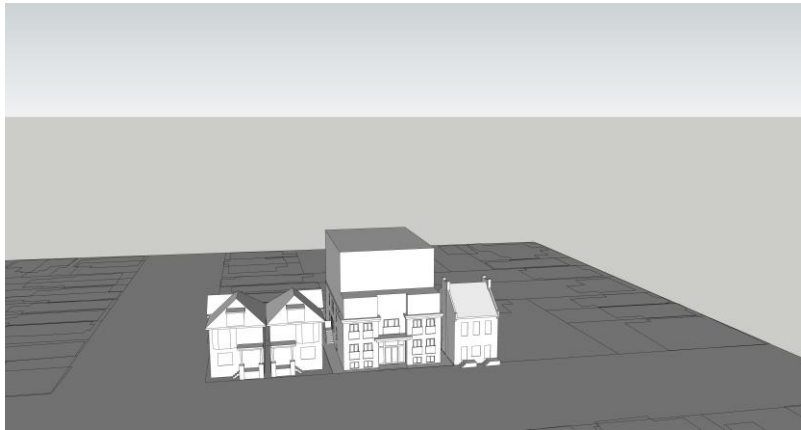
7. RECESS AT AND ABOVE ENTRANCE ON LOWER LEVEL.



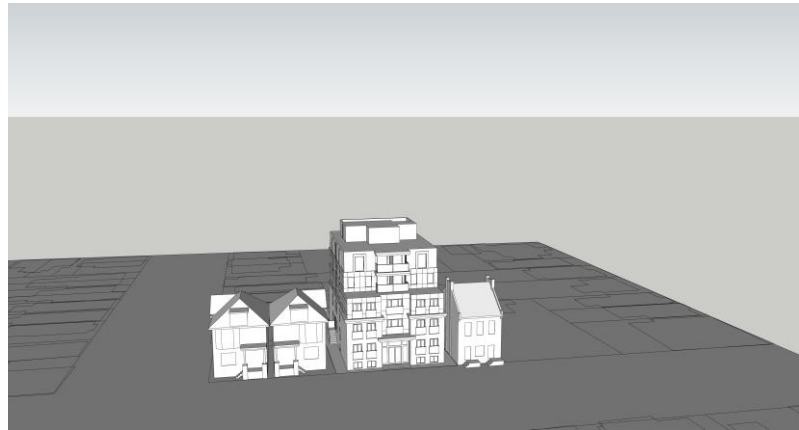
8. GRADE LEVEL PLAN



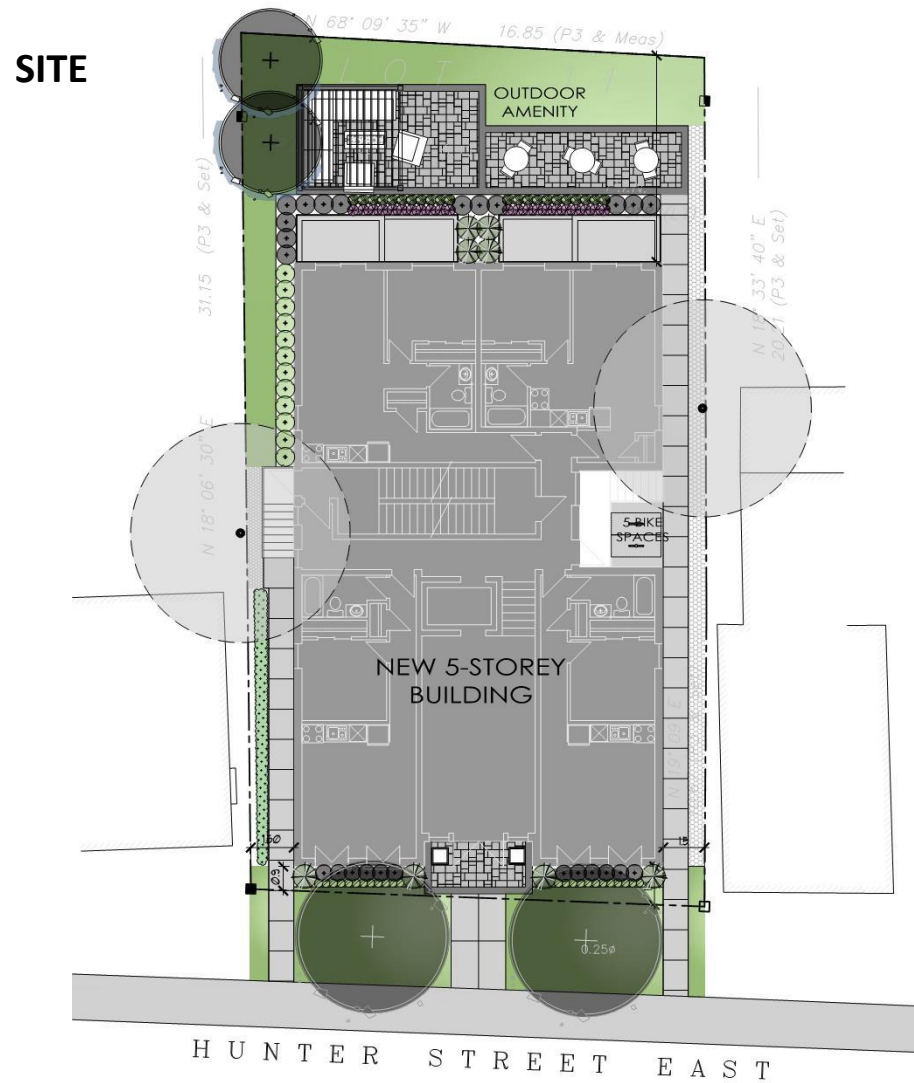
9. LEVEL -1



10. LOWER LEVEL ARTICULATED.



11. UPPER LEVEL ARTICULATED.

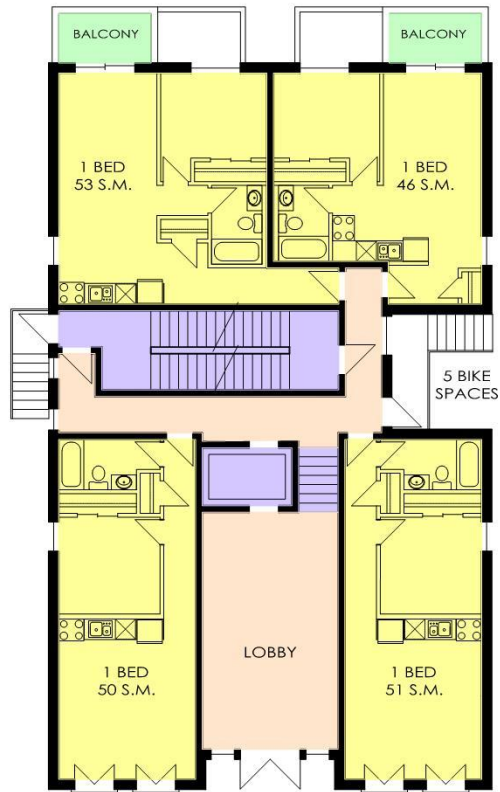


DESIGN REVIEW PANEL PRESENTATION
 233-235 Hunter Street East

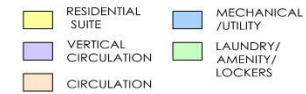
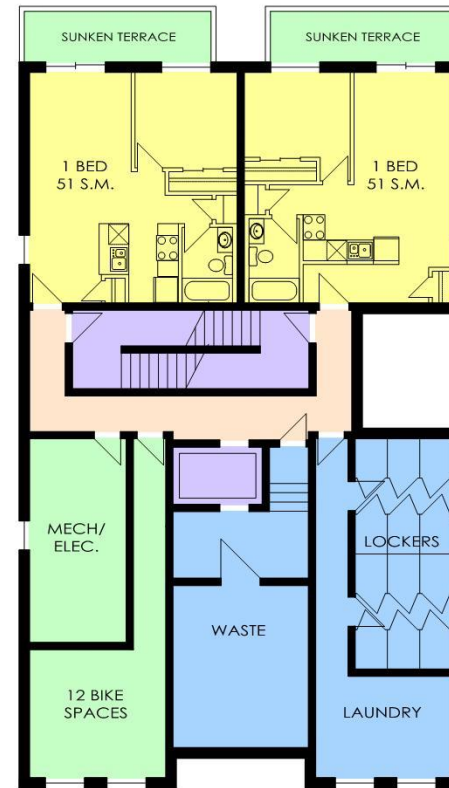
LINTACK ARCHITECTS
 INCORPORATED

SITE PLAN

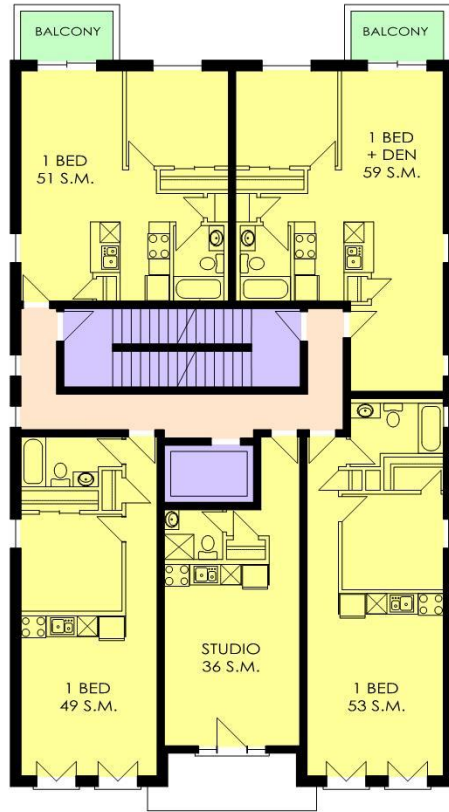
GROUND



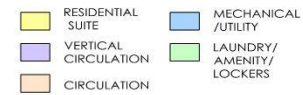
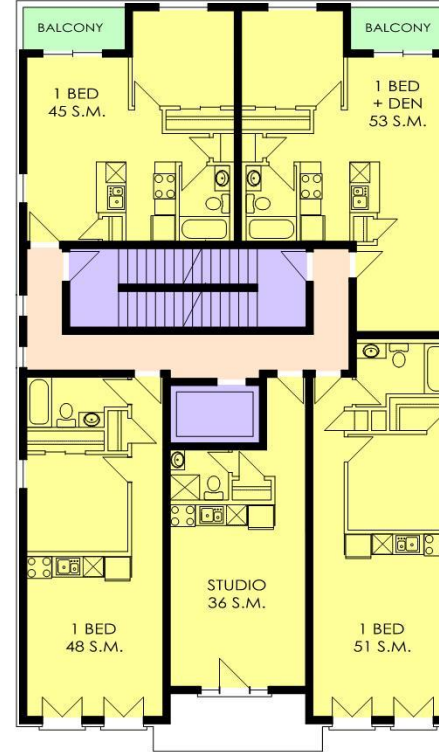
BASEMENT



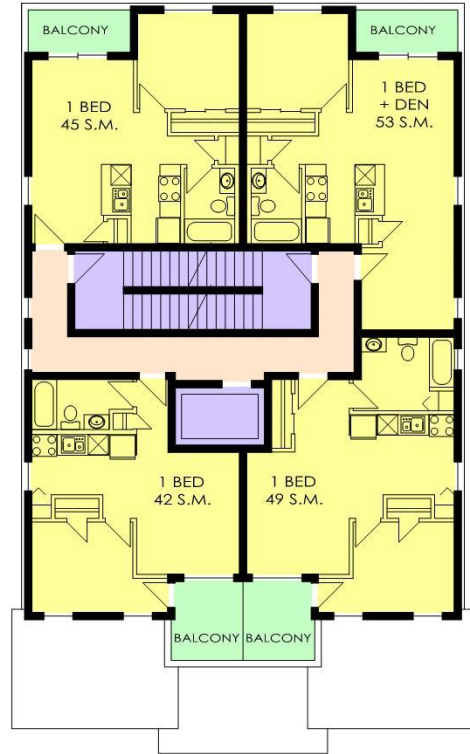
SECOND



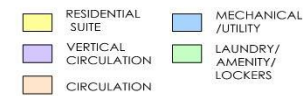
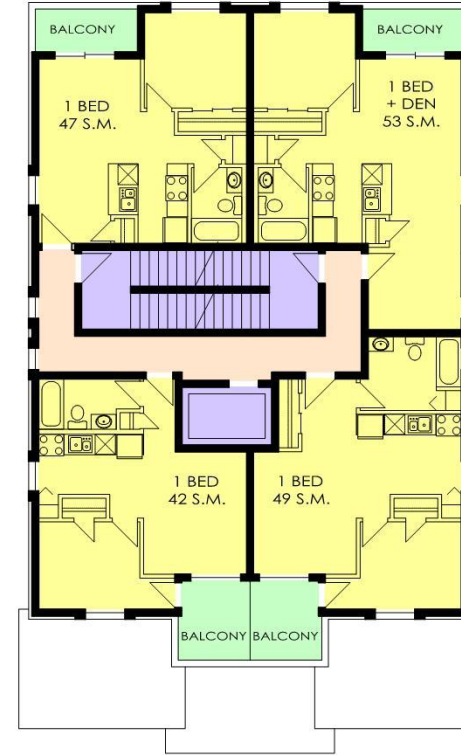
THIRD



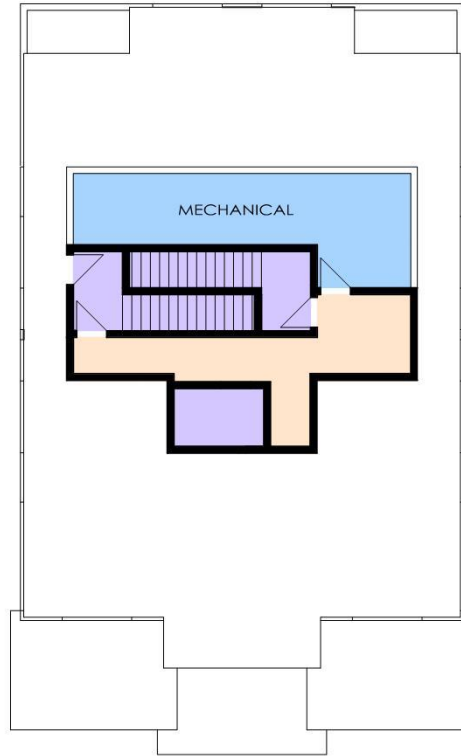
FOURTH



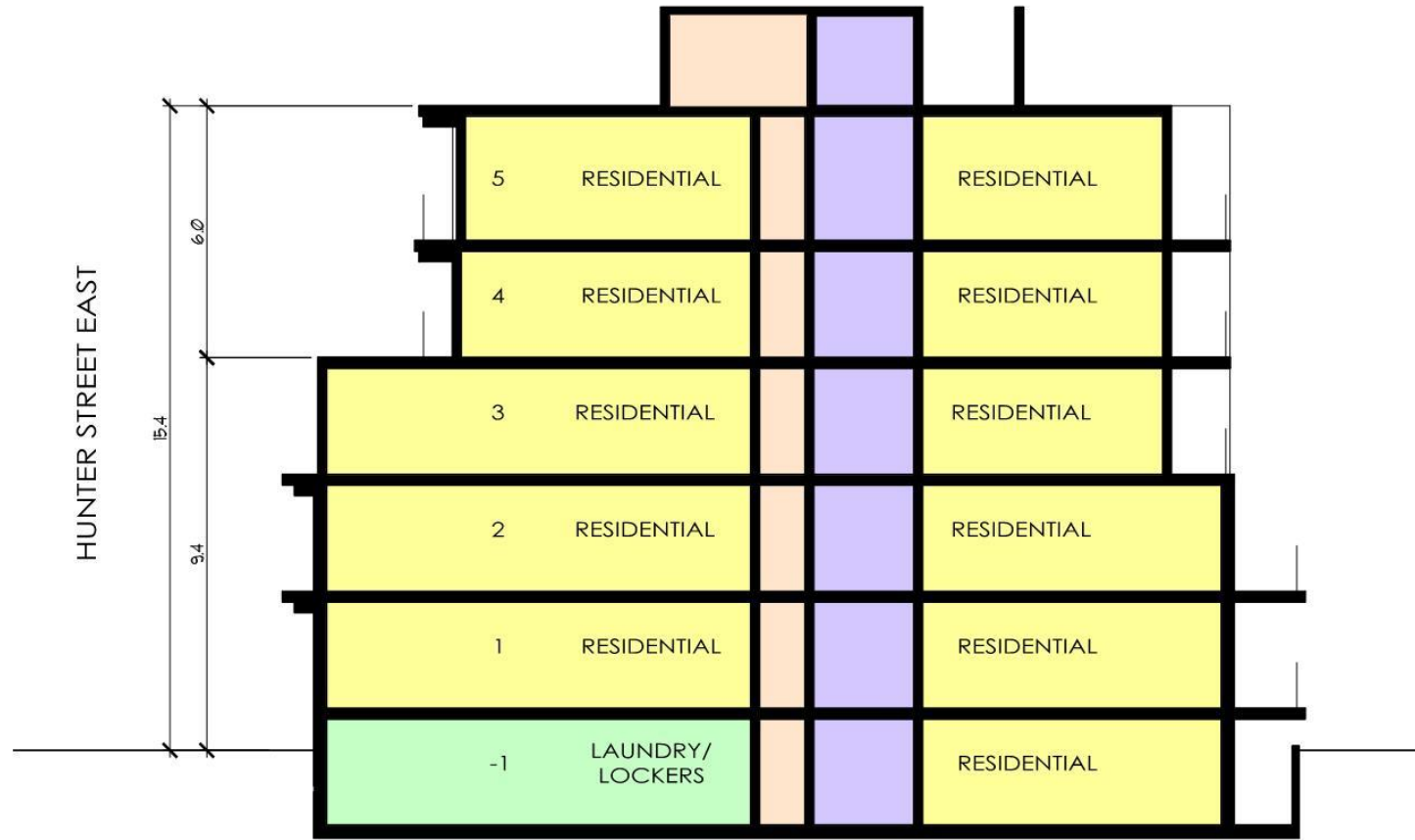
FIFTH



MECHANICAL PENTHOUSE



- RESIDENTIAL SUITE
- MECHANICAL / UTILITY
- VERTICAL CIRCULATION
- LAUNDRY / AMENITY / LOCKERS
- CIRCULATION





DESIGN REVIEW PANEL PRESENTATION
233-235 Hunter Street East

LINTACK ARCHITECTS
INCORPORATED

SOUTH ELEVATION



DESIGN REVIEW PANEL PRESENTATION
233-235 Hunter Street East

LINTACK ARCHITECTS
INCORPORATED

NORTH ELEVATION



DESIGN REVIEW PANEL PRESENTATION
233-235 Hunter Street East

LINTACK ARCHITECTS
INCORPORATED

EAST ELEVATION



DESIGN REVIEW PANEL PRESENTATION
233-235 Hunter Street East

LINTACK ARCHITECTS
INCORPORATED

WEST ELEVATION



DESIGN REVIEW PANEL PRESENTATION
233-235 Hunter Street East

LINTACK ARCHITECTS
INCORPORATED

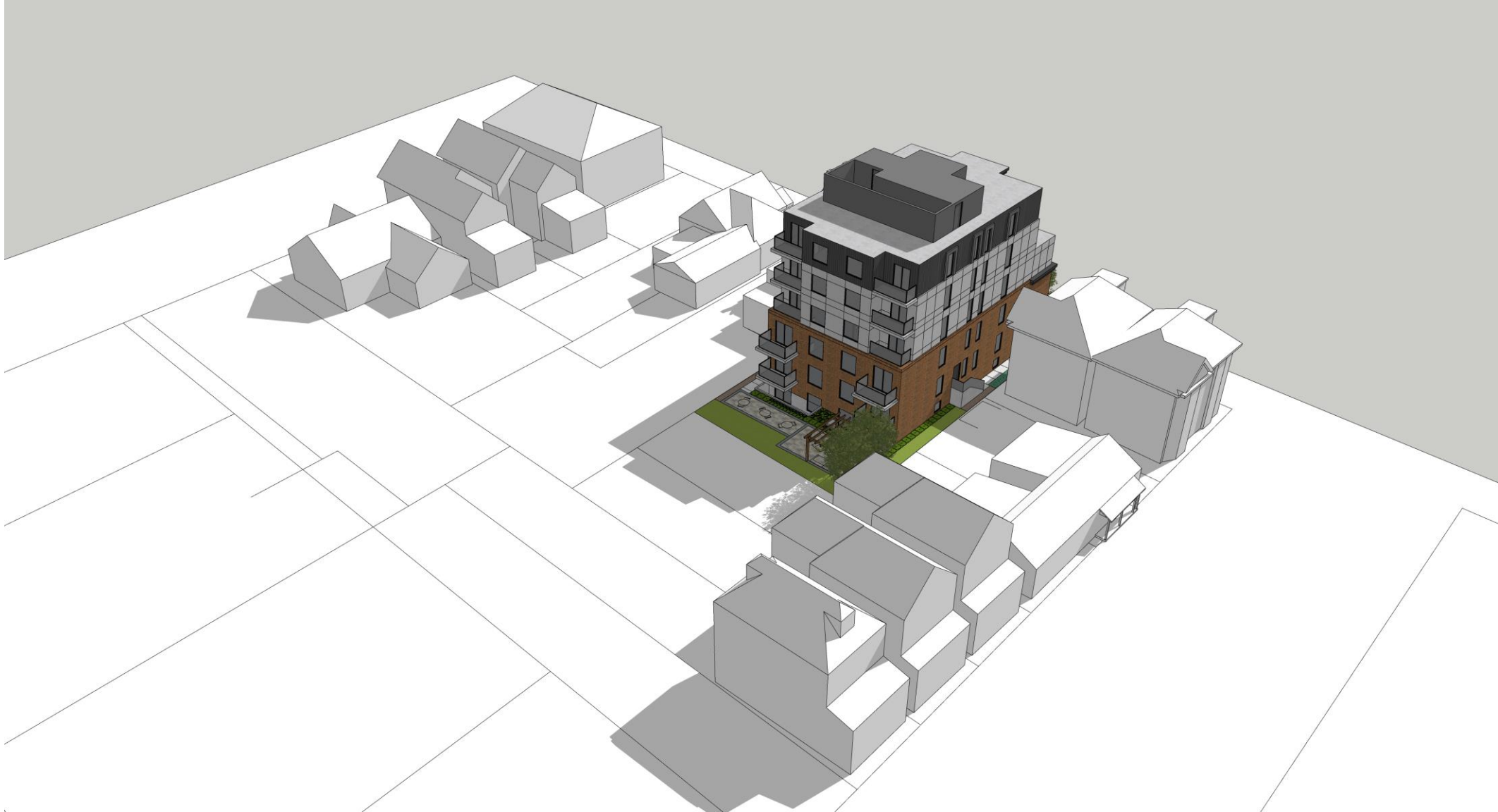
AERIAL PERSPECTIVE



DESIGN REVIEW PANEL PRESENTATION
233-235 Hunter Street East

LINTACK ARCHITECTS
INCORPORATED

AERIAL PERSPECTIVE
VIEWED FROM SOUTH-EAST



DESIGN REVIEW PANEL PRESENTATION
233-235 Hunter Street East

LINTACK ARCHITECTS
INCORPORATED

AERIAL PERSPECTIVE
VIEWED FROM NORTH-EAST



DESIGN REVIEW PANEL PRESENTATION
233-235 Hunter Street East

LINTACK ARCHITECTS
INCORPORATED

STREET PERSPECTIVE
VIEW FROM SOUTH-WEST



DESIGN REVIEW PANEL PRESENTATION
233-235 Hunter Street East

LINTACK ARCHITECTS
INCORPORATED

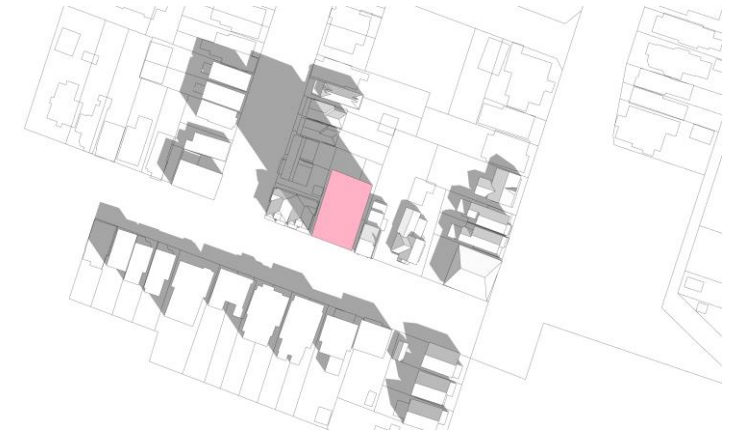
STREET PERSPECTIVE
VIEW FROM SOUTH-EAST



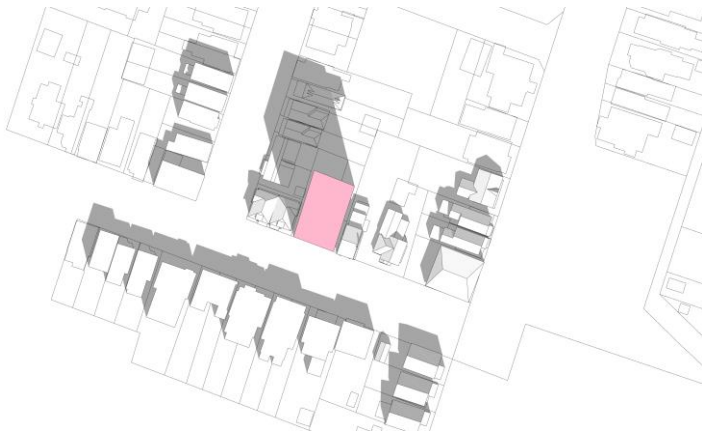
Mar.21 @ 8:50am
Sunrise + 1.5hrs



Mar.21 @ 9:50am



Mar.21 @ 10:50am



Mar.21 @ 11:50pm



Mar.21 @ 12:50pm



Mar.21 @ 1:26pm
Solar Noon

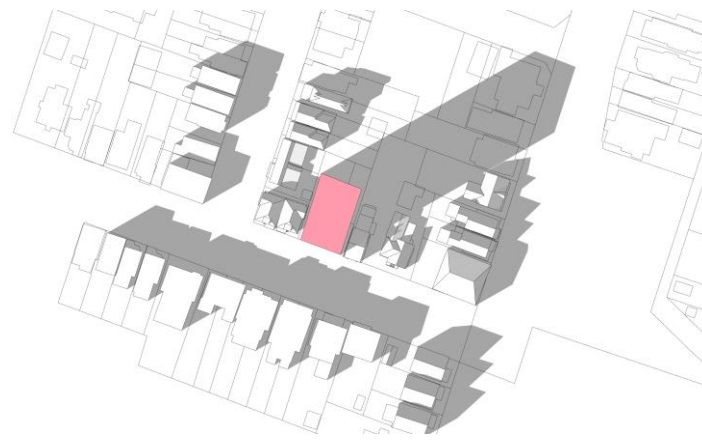
DESIGN REVIEW PANEL PRESENTATION
233-235 Hunter Street East

LINTACK ARCHITECTS
INCORPORATED

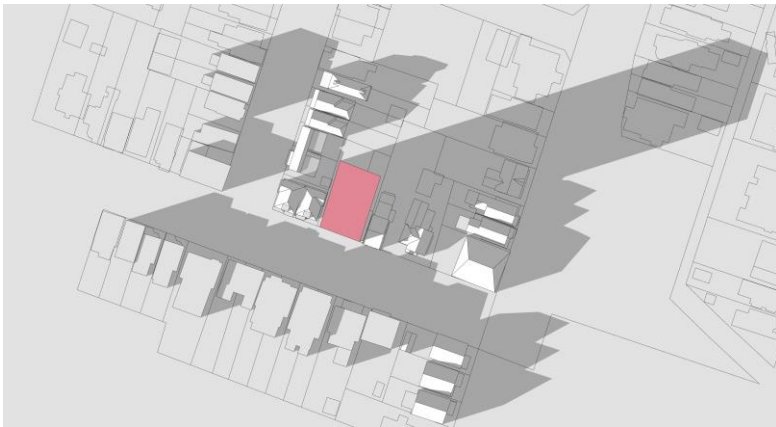
SHADOW STUDY
March 21st
As-of-Right (44m)



Mar.21 @ 2:50pm



Mar.21 @ 3:50pm



Mar.21 @ 4:50pm



Mar.21 @ 6:03pm
Sunset – 1.5hrs

DESIGN REVIEW PANEL PRESENTATION
233-235 Hunter Street East

LINTACK ARCHITECTS
INCORPORATED

SHADOW STUDY
March 21st
As-of-Right (44m)



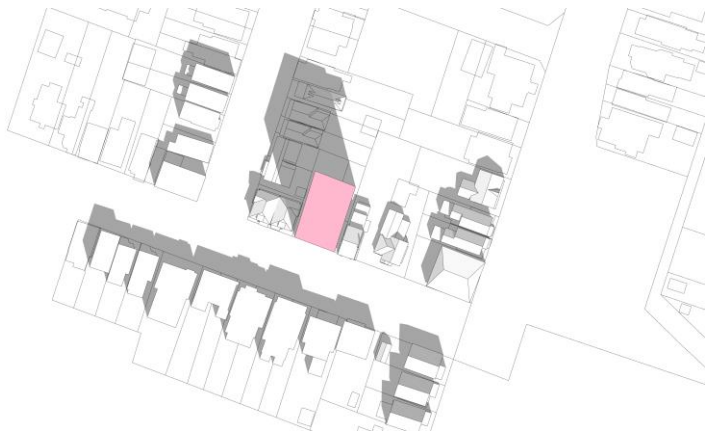
Sep.21 @ 8:35am
Sunrise + 1.5hrs



Sep.21 @ 9:35am



Sep.21 @ 10:35am



Sep.21 @ 11:35am



Sep.21 @ 12:35pm



Sep.21 @ 1:12pm
Solar Noon

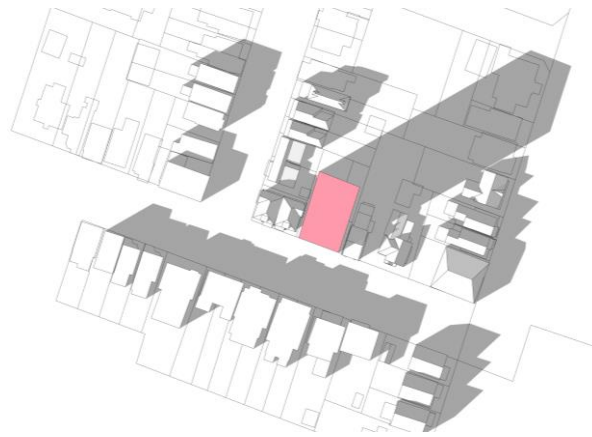
DESIGN REVIEW PANEL PRESENTATION
233-235 Hunter Street East

LINTACK ARCHITECTS
INCORPORATED

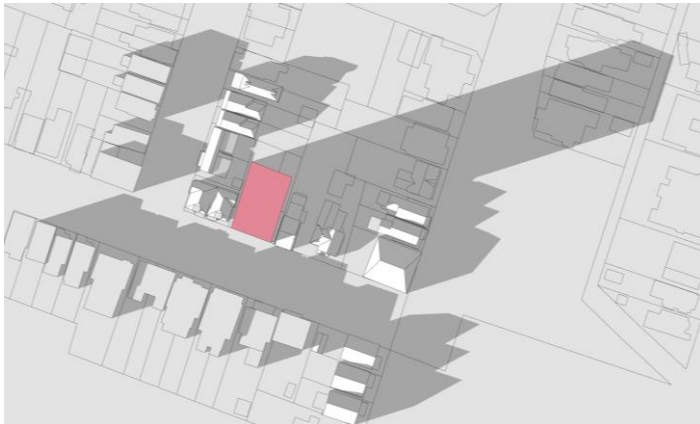
SHADOW STUDY
September 21st
As-of-Right (44m)



Sep.21 @ 2:35pm



Sep.21 @ 3:35pm



Sep.21 @ 4:35pm



Sep.21 @ 5.48pm
Sunset – 1.5hrs

Analysis

The City's Sun Shadow Guidelines include Impact Criteria and considerations analysis as follows:

Criteria A – Public Realm

Shadows from proposed development shall allow for a minimum of 3 hours of sun coverage between 10:00am and 4:00pm as measured from March 21st to September 21st on public sidewalks, and public and private outdoor amenity space such as patios, siting areas, and other similar programs.

The As-of-Right condition does allow for the minimum sun coverage during the indicated times and dates. There are no shadow impacts on public sidewalks in the afternoon. Private amenity areas such as backyards will have a minimum of 3 hours of sun coverage. The private amenity areas of 15 properties would be affected by new shadows cast by the As-of-Right condition.

Criteria B – Common Amenity Areas

Shadows from the proposed development shall allow for a minimum of 50% sun coverage at all times of the day as measured from March 21st to September 21st on public plazas, parks and open spaces, school yards, and playgrounds.

The As-of-Right condition allows for a minimum of 50% sun coverage on the Claremont Access Parkettes to the east. There are no shadow impacts on any other public common amenity areas.

Criteria C – Primary Gathering Spaces in Downtown Hamilton

Downtown Hamilton contains a number of parks, squares, plazas and open space areas that serve as civic gathering spaces in the Downtown area. The quality, image and amenity of these spaces strongly affect how people perceive the Downtown. Development shall not cast any new net shadow between 10:00am and 4:00pm as measured from March 21st to September 21st on Gore Park, Prince's Square, City Hall Forecourt, Whithern Museum and Ferguson Station.

The As-of-Right condition does not cast any net new shadows on any primary gathering spaces in downtown Hamilton.



Mar.21 @ 8:50am
Sunrise + 1.5hrs



Mar.21 @ 9:50am



Mar.21 @ 10:50am



Mar.21 @ 11:50pm



Mar.21 @ 12:50pm



Mar.21 @ 1:26pm
Solar Noon

DESIGN REVIEW PANEL PRESENTATION
233-235 Hunter Street East

LINTACK ARCHITECTS
INCORPORATED

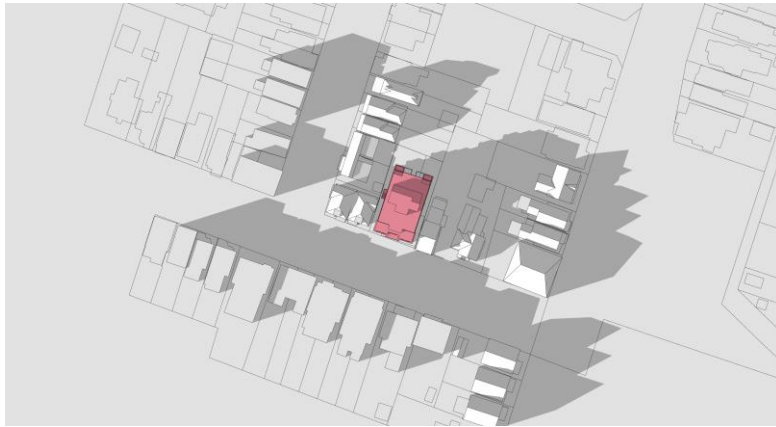
SHADOW STUDY
March 21st
Proposed (15.4m)



Mar.21 @ 2:50pm



Mar.21 @ 3:50pm



Mar.21 @ 4:50pm



Mar.21 @ 6:03pm
Sunset - 1.5hrs

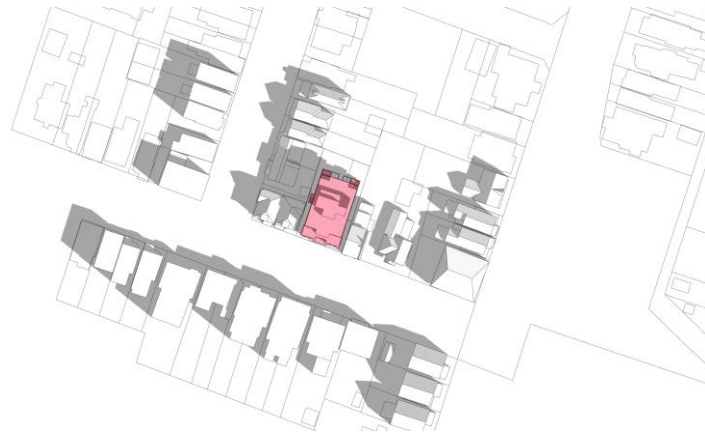
DESIGN REVIEW PANEL PRESENTATION
233-235 Hunter Street East

LINTACK ARCHITECTS
INCORPORATED

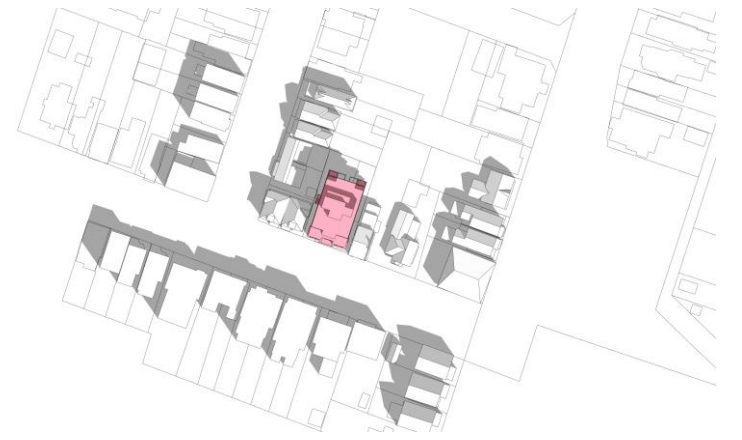
SHADOW STUDY
March 21st
Proposed (15.4m)



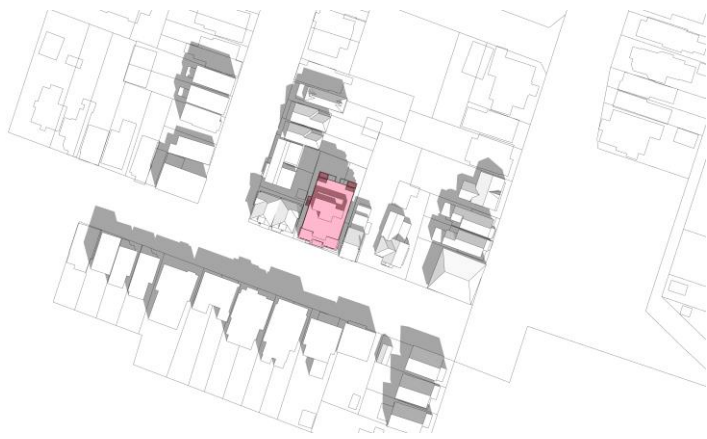
Sep.21 @ 8:35am
Sunrise + 1.5hrs



Sep.21 @ 9:35am



Sep.21 @ 10:35am



Sep.21 @ 11:35am



Sep.21 @ 12:35pm

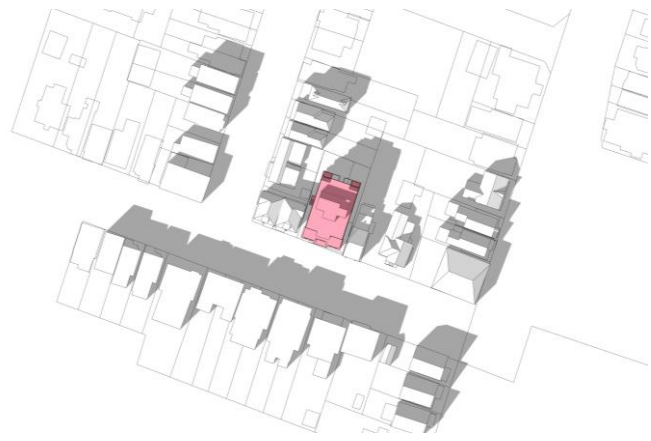


Sep.21 @ 1:12pm
Solar Noon

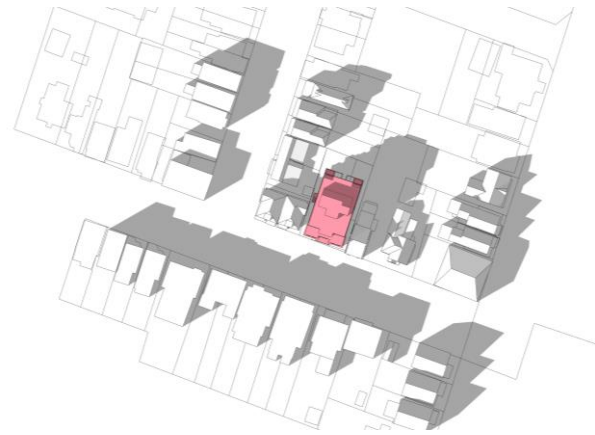
DESIGN REVIEW PANEL PRESENTATION
233-235 Hunter Street East

LINTACK ARCHITECTS
INCORPORATED

SHADOW STUDY
September 21st
Proposed (15.4m)



Sep.21 @ 2:35pm



Sep.21 @ 3:35pm



Sep.21 @ 4:35pm



Sep.21 @ 5.48pm
Sunset – 1.5hrs

Analysis

The City's Sun Shadow Guidelines include Impact Criteria and considerations analysis as follows:

Criteria A – Public Realm

Shadows from proposed development shall allow for a minimum of 3 hours of sun coverage between 10:00am and 4:00pm as measured from March 21st to September 21st on public sidewalks, and public and private outdoor amenity space such as patios, siting areas, and other similar programs.

The proposed condition allows for the minimum sun coverage during the indicated times and dates. There are no shadow impacts on public sidewalks after 10:00am. Private amenity areas such as backyards will have a minimum of 3 hours of sun coverage. Shadow impacts on the private amenity areas are significantly less than the As-of-Right condition. The private amenity areas of only 7 properties would be affected by new shadows cast by the proposed condition.

Criteria B – Common Amenity Areas

Shadows from the proposed development shall allow for a minimum of 50% sun coverage at all times of the day as measured from March 21st to September 21st on public plazas, parks and open spaces, school yards, and playgrounds.

The proposed condition allows for a minimum of 50% sun coverage on all public common amenity areas.

Criteria C – Primary Gathering Spaces in Downtown Hamilton

Downtown Hamilton contains a number of parks, squares, plazas and open space areas that serve as civic gathering spaces in the Downtown area. The quality, image and amenity of these spaces strongly affect how people perceive the Downtown. Development shall not cast any new net shadow between 10:00am and 4:00pm as measured from March 21st to September 21st on Gore Park, Prince's Square, City Hall Forecourt, Whithern Museum and Ferguson Station.

The proposed condition does not cast any net new shadows on any primary gathering spaces in downtown Hamilton.