



Hamilton

# MOUNTAIN DRIVE PARK MASTERPLAN

WEDNESDAY, JANUARY 20, 2021

# TABLE OF CONTENTS

- 1) Masterplan process
- 2) Site Context – boundary and features
- 3) Constraints and Considerations
- 4) Project Timeline
- 5) Next Steps

# PURPOSE OF A MASTER PLAN

A Masterplan is a  
**PLANNING TOOL**  
used to:



Establish a vision  
for future park  
improvements



Identify a  
budget



Identify a  
timeline for  
implementation

# COMPONENTS OF A MASTER PLAN

Receive Community, City Staff  
and Stakeholder input

Inventory and  
Analysis of  
Existing  
Conditions,  
Regulations,  
Policies etc.



Establish a Park  
Vision and  
Generate  
Criteria for  
Success



Develop and  
Evaluate  
Feasible Design  
Concepts and  
Select Preferred  
Option



Identify a budget  
and timeline for  
implementation

# MASTER PLAN EXAMPLE



## Proposed Park Improvements

### General Enhancements

- Improved paving
- New lighting strategy
- New furnishings (benches, bins, etc.)
- New interpretive/ way-finding signage
- Repair masonry walls, railings and steps
- Update servicing as needed

### Mobility

- 1 • Multi-use path w/ cycling infrastructure
- 2 • Improvements to the Concession St. & Jolley Cut intersections
- 3 • New barrier free pedestrian pathways
- 4 • Improve sense of arrival for Bruce Trail

- 5 • New food truck access
- 6 • Relocate east parking lot
- 7 • Replace west parking lot with on-street parking
- 8 • Decommission lower pathway

### Gardens & Open Space

- Rejuvenate existing gardens and plantings
- 9 • New gardens associated with new pathways
- 10 • Plant street trees along Concession St.
- Tree succession plan
- Invasive plant species management

- 12 • Amphitheatre seating
- 13 • Flat lawn (potential festival area)
- 14 • Expand existing west tree grove
  - Native gardens replace lawn on steep slopes
- 15 • Maintain memorial daffodil garden
- 16 • Replace/ relocate annual gardens
- 17 • Cluster of deciduous trees in traffic median

### Structures

- 18 • Bridge connection over Jolley Cut
- 19 • Park sign
- 20 • New facility building (maintenance and

- 21 • Existing pavilion to be relocated
- 22 • New observation deck with amenities
- 23 • Play moments throughout park
  - Public art opportunities



# PARK FEATURES

## 1 – West Look-Out

- Views to the City
- Asphalt pathway/ link
- Parking, including accessible
- Park Signage
- Horticultural Displays (donated) with Recognition Signage
- Fencing and Masonry Columns
- Tree planting
- Informal Seating

## 2 - Escarpment

- Cliff faces
- Significant Woodlands

## 3 – Park Proper

- Views to the City
- Asphalt pathway/ link
- Seating
- Playground structure and swings
- Open lawn
- Washroom building with covered outdoor overhang
- Spot lighting and utilities
- Mature trees
- Park signage
- Low masonry wall, chain link fence
- Interpretive signage

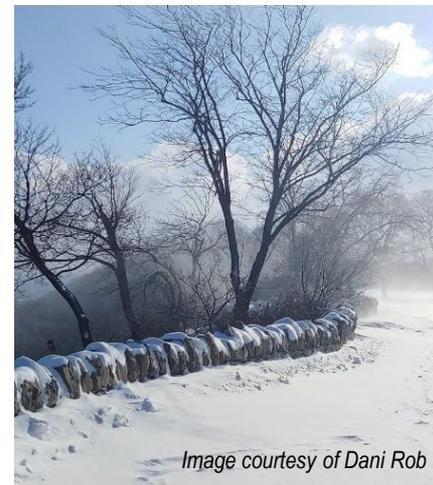
# AS SEEN THROUGH THE COMMUNITY



*Image courtesy of Anita Windisman*



*Image courtesy of Marc Kirouac*



*Image courtesy of Dani Rob*



*Image courtesy of Trevor A*



*Image courtesy of Marc Kirouac*

# CONSTRAINTS + CONSIDERATIONS



# NIAGARA ESCARPMENT PLAN



## NEC Plan Designations Legend

- 1 – Escarpment Natural Area
- 2 – Urban Area

# PROJECT TIMELINE + NEXT STEPS



Masterplan Report Timeline	
Task Force Committee Start-Up and Stakeholder Engagement	January 2021
Inventory and Analysis including studies (geotechnical, CPTED review)	February – March 2021
Stakeholder Engagement	February – July 2021
Establish Project Vision, Priorities and Development Options	April – June 2021
Evaluate Development Options and Select Preferred Option (share with Facilities)	June 2021
Prepare Masterplan Report	July – October 2021
Finalize Masterplan Report and make available to the Public	December 2021



Hamilton

THANK YOU