



FINAL REPORT

Cultural Heritage Impact Assessment

Twenty Road West Plan of Subdivision in Glanbrook, City of Hamilton, Ontario

Submitted to:

Upper West Side Landowners Group Inc.

c/o Corbett Land Strategies Inc.
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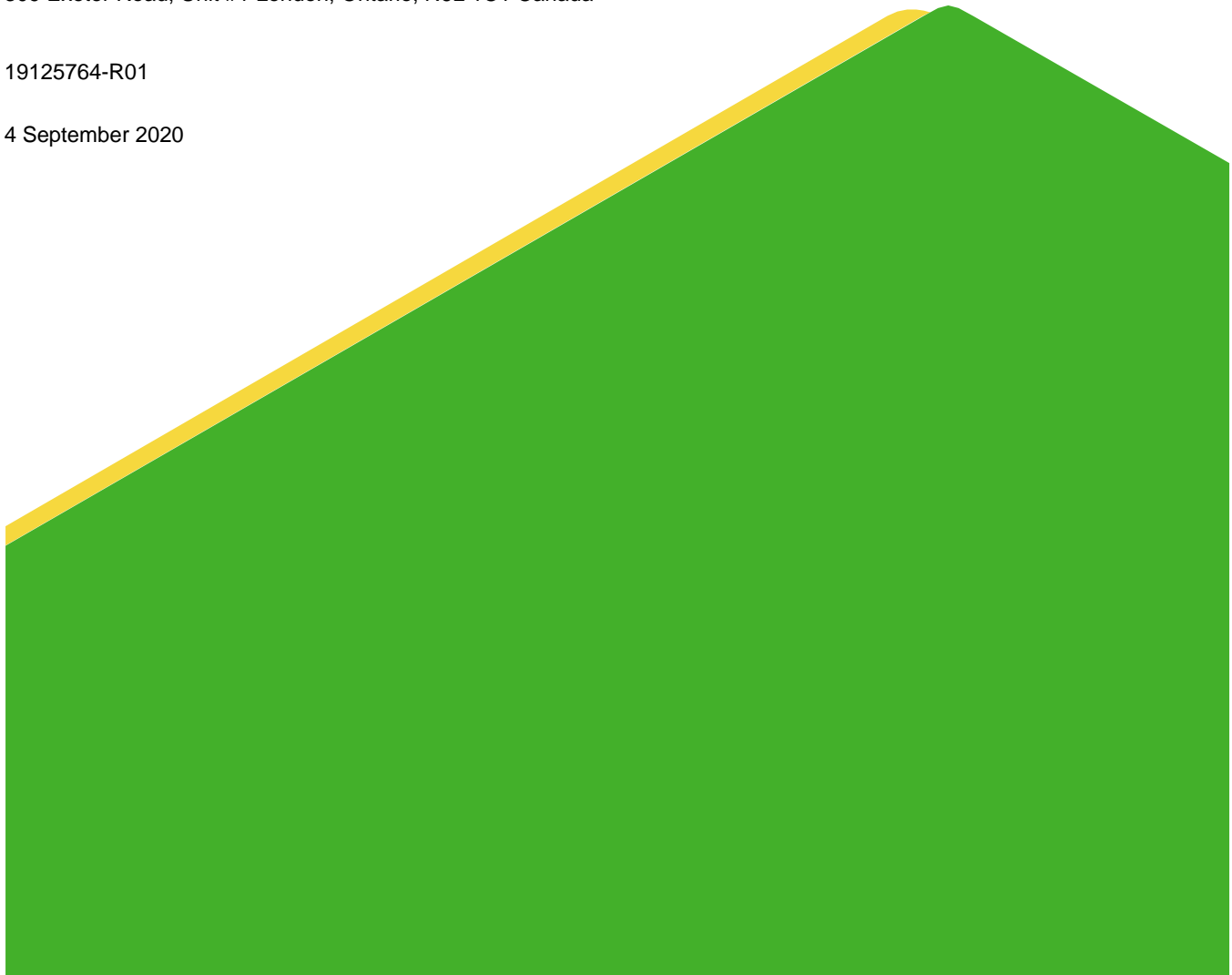
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Executive Summary

The Executive Summary summarizes only the key points of the report. For a complete account of the results and conclusions, as well as the limitations of this study, the reader should examine the report in full.

In January 2020, Golder Associates Ltd. (Golder) was retained by Upper West Side Landowners Group Inc. (UWSLG) c/o Corbett Land Strategies Inc. (CLS) to conduct a Cultural Heritage Impact Assessment (CHIA) for the municipally inventoried heritage properties at 555 Glancaster Road, 9751 Twenty Road West and 9285 Twenty Road West as part of the Upper West Side Plan of Subdivision, a block area bound by Twenty Road West to the north, Dickenson Road to the south Upper James Street to the east, and Glancaster Road to the West in City of Hamilton, Ontario (the 'subject properties'). The subject properties includes a former golf course, clubhouse, and outbuilding at 555 Glancaster Road, a one-and-a-half-storey brick dwelling and outbuildings at 9751 Twenty Road West and a two-and-a-half storey brick dwelling at 9285 Twenty Road West. The subject properties are adjacent to municipally inventoried heritage properties at 9445 Twenty Road West, 9322 Dickenson Road West and 9236 Dickenson Road West.

UWSLG intends to demolish the existing buildings at 555 Glancaster Road, 9751 Twenty Road West and 9285 Twenty Road West and subdivide the lots for residential land use. Main roads are proposed bisecting the three properties and connecting Twenty Road West, Upper James Street, Dickenson Road West and Glancaster Road. Since the three properties within the Plan of Subdivision are inventoried in the *Hamilton's Heritage Volumes*, a CHIA is required as a condition of site plan approval.

Golder was previously retained in February 2018 by CLS to conduct a Cultural Heritage Impact Assessment (CHIA) for the municipally inventoried properties at 9511 Twenty Road West and 9445 Twenty Road West as part of the Upper West Side Plan of Subdivision (Golder 2018). The CHIA determined both properties to have cultural heritage value or interest (CHVI) for its design or physical value, historical or associative value, and contextual value (Golder 2018). Golder was also retained by CLS in September 2019 to conduct a Cultural Heritage Screening Report (CHSR) as part of the Upper West Side Plan of Subdivision (Golder 2019) to identify known and potential built heritage resources and cultural heritage landscapes. This study identified 17 municipally inventoried heritage properties and 9 potential cultural heritage properties.

Following guidance provided by the Ministry of Heritage, Sport, Tourism and Culture Industries (MHSTCI), the City of Hamilton's *Urban Hamilton Official Plan (2015)* and *Infosheet: Cultural Heritage Impact Assessments (2017)*, and Canada's Historic Places *Standards and Guidelines for the Conservation of Historic Places in Canada (2010)*, this CHIA identifies the heritage policies applicable to new development, summarizes the properties' geography and history, and provides an inventory and evaluation of each property's built and landscape features. Based on this understanding of the properties, potential adverse impacts resulting from the proposed development are assessed, and future conservation actions recommended.

Cultural heritage evaluation conducted for this CHIA of 555 Glancaster Road, 9751 Twenty Road West, and 9285 Twenty Road West concluded that:

- 555 Glancaster Road does not have CHVI
 - the built resource(s) associated with the property's listing have been demolished
 - the property is a golf course established circa 1988

- 9751 Twenty Road West has CHVI for its mid-19th century brick farmhouse built to a high degree of craftsmanship in the Gothic Revival style, for its association with the pioneering and locally prominent Smith family, and for its contextual value
- 9285 Twenty Road West has CHVI for its mid-19th century brick farmhouse built to a high degree of craftsmanship in the Gothic Revival style, its association with the pioneering and locally prominent Marshall family, and for its contextual value

Golder's impact assessment concluded that the proposed development:

- will directly and indirectly impact the CHVI and heritage attributes of 9751 and 9285 Twenty Road West
- will not result in any direct or indirect impacts to the CHVI and heritage attributes of 9445 Twenty Road West
- will not result in any direct or indirect impacts to the adjacent municipally inventoried heritage properties at 9322 Dickenson Road West and 9236 Dickenson Road West

After rigorous options analysis, Golder's options analysis determined that the alternatives with the least adverse impact to the property's cultural heritage value or interest and heritage attributes are:

- **9751 Twenty Road West**
 - Option 2: Incorporate into development and rehabilitate for new compatible uses, and,
 - Option 3: Relocate and rehabilitate for new compatible uses
- **9285 Twenty Road West**
 - Option 4: Preserve by record and commemorate

To pursue the above options, Golder recommends that UWSLG undertake the following actions:

- **9751 Twenty Road West**
 - Option 2: Incorporate into development and rehabilitate for new compatible uses
 - design the site plan to avoid the built heritage resource and incorporate it into the new development.
 - incorporate the built heritage resource on a reduced lot size that allows for adjacent development yet gives the building visual prominence and is sufficient for future expansion through additions or an outbuilding.
 - rehabilitate the built heritage resource for a compatible new use.
 - prepare a Heritage Conservation Plan to guide the rehabilitation and to ensure the CHVI and heritage attributes of the built heritage resource are conserved.
 - monitor for vibration impact during all adjacent construction within a 60 m radius around the built heritage resource
 - Continuous ground vibration monitoring should be carried out near the foundations of the house using a digital seismograph capable of measuring and recording ground vibration intensities in digital format in each of three (3) orthogonal directions. The instrument should also be equipped with a wireless cellular modem for remote access and transmission of data.

- The installed instrument should be programmed to record continuously, providing peak ground vibration levels at a specified time interval (e.g. 5 minutes) as well as waveform signatures of any ground vibrations exceeding a threshold level that would be determined during monitoring. The instrument should also be programmed to provide a warning should the peak ground vibration level exceed the guideline limits specified. In the event of either a threshold trigger or exceedance warning, data would be retrieved remotely and forwarded to designated recipients.
- Option 3: Relocate and rehabilitate for new compatible uses
 - relocate to a lot on the property of sufficient size to ensure its long-term sustainability and conservation as a valued built heritage resource, and to rehabilitate it for a new compatible use (i.e., commercial, residential, public education or recreational).
 - prepare a Heritage Conservation Plan detailing the conservation treatment (i.e. preservation, rehabilitation, or restoration), the required actions and trades depending on treatment, and an implementation schedule to conserve building prior to, during, and after the relocation effort.
 - monitor for vibration impact during all adjacent construction within a 60 m radius around the built heritage resource prior to and after the relocation
 - Continuous ground vibration monitoring should be carried out near the foundations of the house using a digital seismograph capable of measuring and recording ground vibration intensities in digital format in each of three (3) orthogonal directions. The instrument should also be equipped with a wireless cellular modem for remote access and transmission of data.
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- **9285 Twenty Road West**
 - develop a strategy to interpret and commemorate the property's CHVI within the proposed development. This strategy may recommend static displays and the salvage and re-use of the building material (i.e., bricks)
 - demolish the built heritage resources
 - Golder considers the research, description, photographic documentation, and floor plans included in this CHIA as sufficient 'preservation by record' for the property and recommends that the City not require a subsequent Documentation and Salvage Report.

Study Limitations

Golder Associates Ltd. (Golder) has prepared this report in a manner consistent with the guidelines developed by the Ministry of Heritage, Sport, Tourism and Culture Industries (MHSTCI) and the City of Hamilton's *Official Plan*, subject to the time limits and physical constraints applicable to this report.

This report has been prepared for the specific site, design objective, developments and purpose described to Golder by Upper West Side Landowners Group c/o Corbett Land Strategies Inc. (the Client). The factual data, interpretations and recommendations pertain to a specific project as described in this report and are not applicable to any other project or site location.

The information, recommendations and opinions expressed in this report are for the sole benefit of the Client. No other party may use or rely on this report or any portion thereof without Golder's express written consent. If the report was prepared to be included for a specific permit application process, then upon the reasonable request of the Client, Golder may authorize in writing the use of this report by the regulatory agency as an Approved User for the specific and identified purpose of the applicable permit review process. Any other use of this report by others is prohibited and is without responsibility to Golder. The report, all plans, data, drawings and other documents as well as electronic media prepared by Golder are considered its professional work product and shall remain the copyright property of Golder, who authorizes only the Client and Approved Users to make copies of the report, but only in such quantities as are reasonably necessary for the use of the report by those parties. The Client and Approved Users may not give, lend, sell, or otherwise make available the report or any portion thereof to any other party without the express written permissions of Golder. The Client acknowledges the electronic media is susceptible to unauthorized modification, deterioration and incompatibility and therefore the Client cannot rely upon the electronic media versions of Golder's report or other work products.

Unless otherwise stated, the suggestions, recommendations and opinions given in this report are intended only for the guidance of the Client in the design of the specific project.

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APPENDIX B

Building Condition Report

APPENDIX C

Subdivision Plan dated February 24, 2020

1.0 INTRODUCTION

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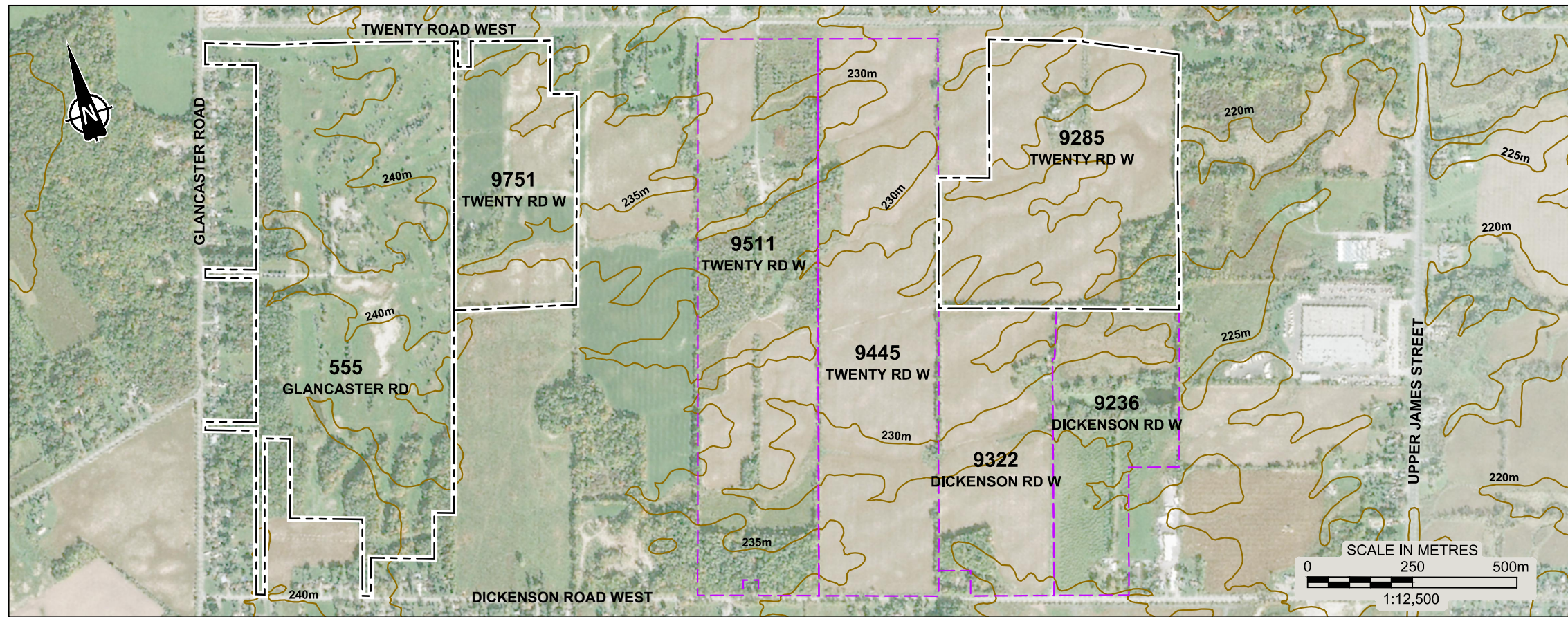
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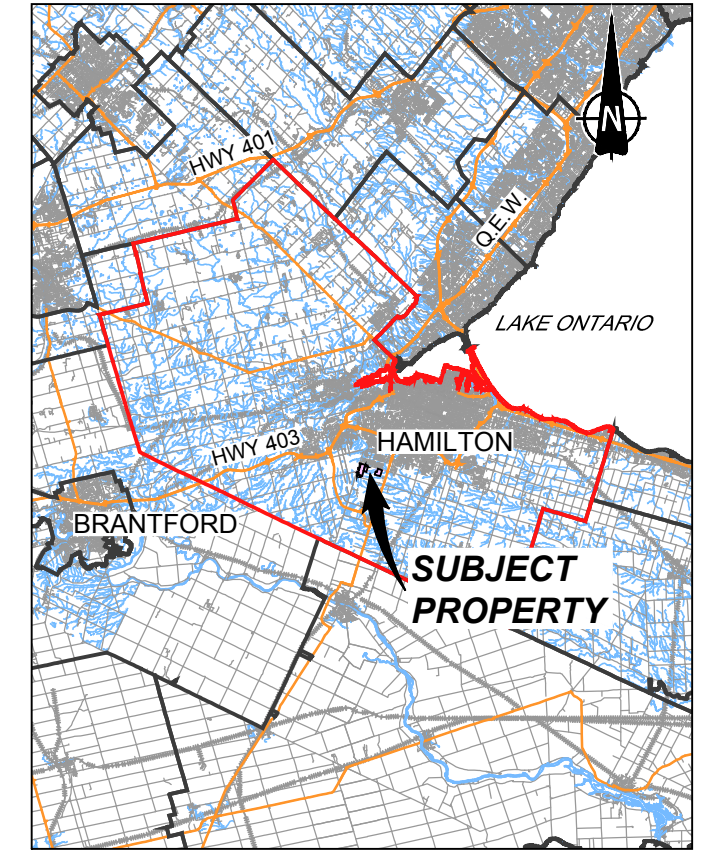
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- a background on the legislative framework, purpose and requirements of a CHIA, and the methods used to investigate and evaluate cultural heritage resources on each property
- an overview of each property's geographic and historical context, and its documentary and structural history
- an inventory of built and landscape elements associated with each property and an evaluation for cultural heritage value or interest (CHVI) of the properties using the criteria prescribed in *Ontario Regulation 9/06 (O. Reg. 9/06)*
- a description of the proposed development and an assessment of potential adverse impacts to the properties, if required
- recommendations for future action

Client: Corbett Land Strategies Inc. Original Format is Tabloid 279mm x 432mm Sep 03, 2020 - 9:04am Drawing file: 19125764-3000-R01001.dwg



AERIAL IMAGERY and OBM MAPPING



KEY PLAN

LEGEND

- APPROXIMATE SUBJECT PROPERTY
- APPROXIMATE ADJACENT HERITAGE PROPERTY
- CITY OF HAMILTON BOUNDARY
- TOWNSHIP/MUNICIPALITY BOUNDARY
- HAMILTON TOWNSHIP/MUNICIPALITY

REFERENCE

DRAWING BASED ON MNR LIO, OBTAINED 2017, PRODUCED BY GOLDER ASSOCIATES LTD UNDER LICENCE FROM ONTARIO MINISTRY OF NATURAL RESOURCES, © QUEENS PRINTER 2017;

PROPERTY LINE DATA PROVIDED BY CORBETT LAND STRATEGIES INC.

BING AERIAL IMAGE AS OF SEPTEMBER 3, 2020 (IMAGE DATE UNKNOWN); AND

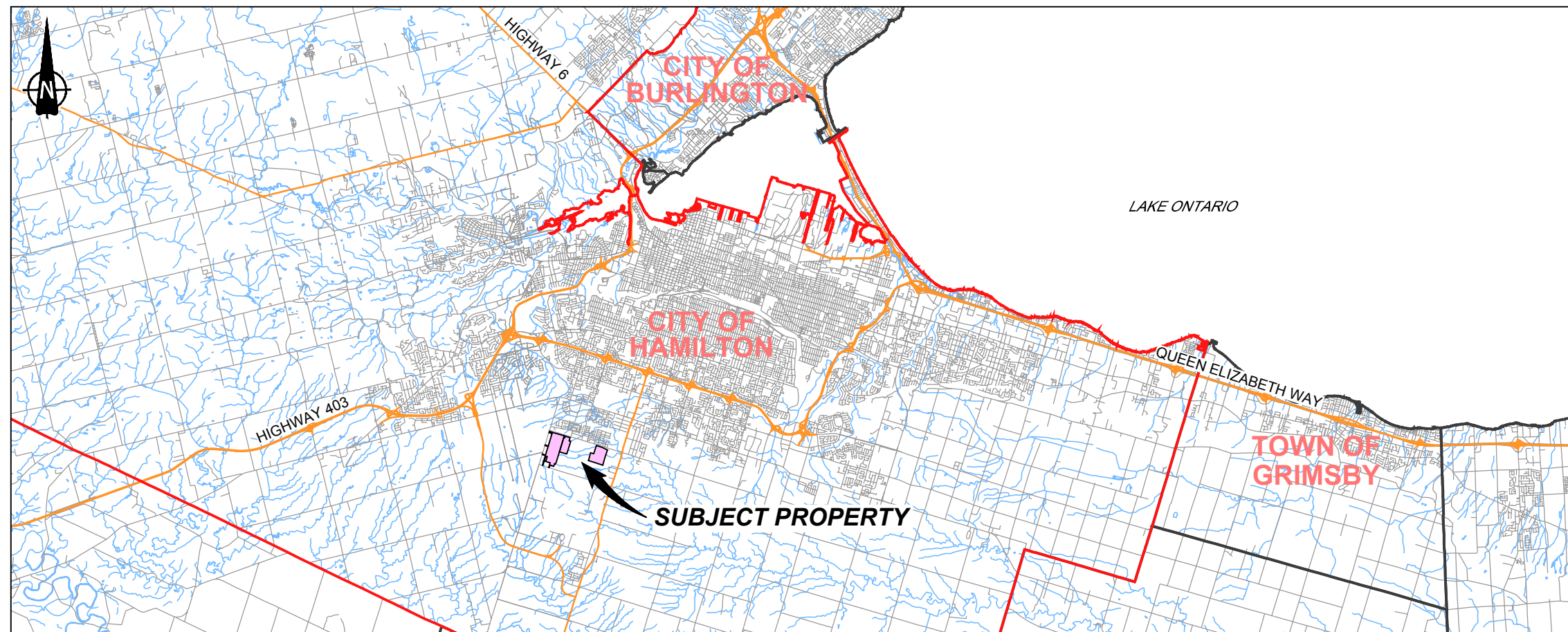
CANMAP STREETFILES V2008.4.

NOTES

THIS DRAWING IS SCHEMATIC ONLY AND IS TO BE READ IN CONJUNCTION WITH ACCOMPANYING TEXT.

BING IMAGERY USED FOR ILLUSTRATION PURPOSES ONLY AND NOT TO BE USED FOR MEASUREMENTS.

ALL LOCATIONS ARE APPROXIMATE.



REGIONAL MAP

PROJECT
 CULTURAL HERITAGE IMPACT ASSESSMENT
 555 GLANCASTER ROAD, 9751 AND 9285 TWENTY ROAD WEST
 HAMILTON, ONTARIO

TITLE
LOCATION MAP

	PROJECT No.	19125764	FILE No.	19125764-3000-R01001
	CADD	DCH/ZJB	SCALE	AS SHOWN REV.
	CHECK	Sept 3/20	FIGURE 1	

2.0 SCOPE AND METHOD

The objectives of this CHIA were to determine if:

- 555 Glancaster Road, 9751 Twenty Road West and 9285 Twenty Road West meet the criteria for CHVI as prescribed in *O. Reg. 9/06*
- if the properties have CHVI, identify heritage attributes and assess impacts to heritage attributes
- assess impacts to the adjacent municipally inventoried heritage properties at 9445 Twenty Road West, 9322 Dickenson Road West and 9236 Dickenson Road West
- provide options to guide future development of the properties

To meet the study's objectives, Golder followed the typical process to investigate a property, evaluate its significance, assess impacts to the property's CHVI and heritage attributes, and mitigate any adverse effects (Figure 2). This included the tasks to:

- compile archival and published information on the property
- review applicable municipal heritage policies and consulted with the Town's heritage planner
- conduct field investigations to document the property's existing conditions, and to understand the wider built and landscape context
- evaluate the property using the *O. Reg. 9/06* criteria
- assess the impact of the proposed development on the property's CHVI and heritage attributes using relevant provincial and municipal cultural heritage guidance and policies
- develop recommendations for future action based on international, federal, provincial, and municipal conservation guidance

Cultural Heritage Specialist Ragavan Nithiyantham conducted field investigations of the property on 18 February 2020, which included taking digital photographs of the property and wider context from public rights-of-ways, completing a *Canadian Inventory of Historic Buildings* (1980) recording form, and sketching floor plans.

The proposed development was then assessed for adverse impacts using the guidance provided in the MHSTCI *Heritage Resources in the Land Use Planning Process*. A number of widely recognized manuals related to evaluating heritage value, determining impacts, and conservation approaches to cultural heritage resources were also consulted, including:

- *The Ontario Heritage Tool Kit* (5 volumes, MHSTCI 2006)
- *Standards and Guidelines for the Conservation of Historic Places in Canada* (Canada's Historic Places 2010)
- *Well-Preserved: The Ontario Heritage Foundation's Manual of Principles and Practice for Architectural Conservation* (Fram 2003)
- *The Evaluation of Historic Buildings and Heritage Planning: Principles and Practice* (Kalman 1979 & 2014)
- *Informed Conservation: Understanding Historic Buildings and their Landscapes for Conservation* (Clark 2001)

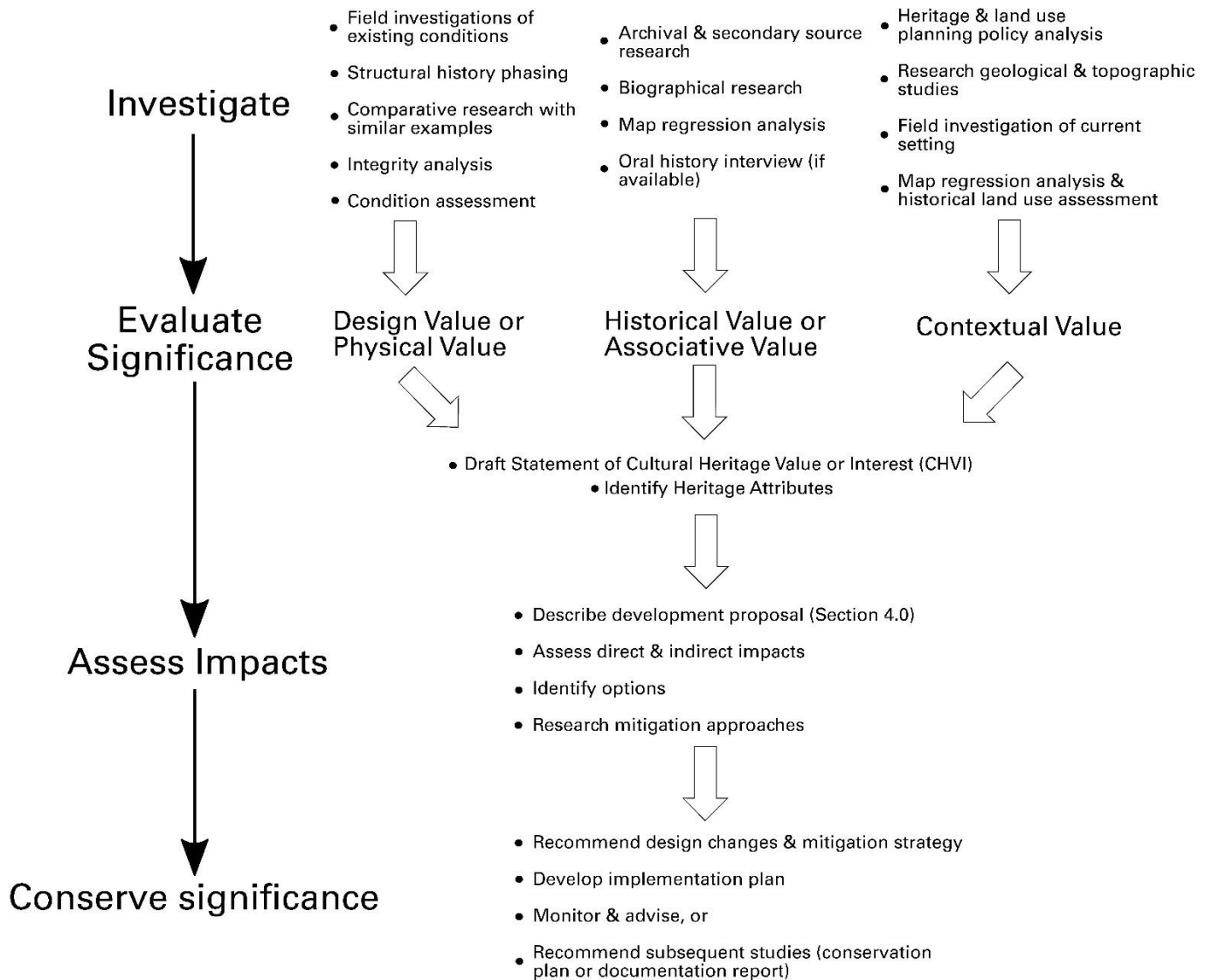


Figure 2: Typical process to investigate a property, evaluate its significance, assess impacts to the property’s CHVI and heritage attributes, and mitigate any adverse effects.

2.1 Record of Consultation

Table 1 summarizes the results of consultation undertaken for this CHIA.

Table 1: Results of Consultation

Contact	Date & Type of Communication	Response
Miranda Brunton, Professional Archaeologist, CAHP Cultural Heritage Planner, Development Planning, Heritage & Design, Planning & Economic Development Department, City of Hamilton	Email sent on February 18, 2020, followed up on February 27, 2020	Email received on February 27, 2020. Indicated that no information was on file for 555 Glancaster Road and provided two LACAC inventory sheets for 9751 and 9285 Twenty Road West (APPENDIX A). Requested that the CHIA provide comparisons to properties with a similar architectural style within Glanbrook.
	Email sent on February 28, 2020	Advised that a demolition permit had been issued for 9322 Dickenson Road West but could not confirm if demolition had already taken place.

3.0 POLICY FRAMEWORK

Heritage properties are subject to several provincial and municipal planning and policy regimes, as well as guidance developed at the federal and international levels. These policies have varying levels of authority at the local level, though generally are all considered when making decisions about heritage assets.

3.1 International & Federal Heritage Policies

No federal heritage policies apply to the property, although many of the provincial and municipal policies detailed below align in approach to that of Canada's Historic Places (CHP) *Standards and Guidelines for the Conservation of Historic Places in Canada* (Canada's Historic Places 2010; hereafter *CHP Standards and Guidelines*). Drafted in response to international and national agreements such as the *International Charter for the Conservation and Restoration of Monuments and Sites* (the Venice Charter, 1964), *Australia ICOMOS* [International Council on Monuments & Sites], *Charter for Places of Cultural Significance* (the Burra Charter, updated 2013) and *Canadian Appleton Charter for the Protection and Enhancement of the Built Environment* (1983), the national *Standards and Guidelines* define three conservation treatments – preservation, rehabilitation, and restoration – and outline the process and required and suggested actions relevant to each treatment. The principles provided in the national *Standards and Guidelines* form the basis of this CHIA.

3.2 Provincial Heritage Policies

3.2.1 Planning Act and Provincial Policy Statement

The Ontario *Planning Act* (1990) and associated *Provincial Policy Statement 2020* (PPS 2020) mandate heritage conservation in land use planning. Under the *Planning Act*, conservation of “features of significant architectural, cultural, historical, archaeological or scientific interest” are a “matter of provincial interest” and integrates this at the provincial and municipal levels through the PPS 2020. Issued under Section 3 of the *Planning Act*, PPS 2020 recognizes that cultural heritage and archaeological resources “provide important environmental, economic, and social benefits”, and that “encouraging a sense of place, by promoting well-designed built form and cultural planning, and by conserving features that help define character, including *built heritage resources* and *cultural heritage landscapes*” supports long-term economic prosperity (PPS 2020:6,22).

The importance of identifying and evaluating built heritage and cultural heritage landscapes is recognized in two policies of PPS 2020:

- Section 2.6.1 – *Significant built heritage resources* and *significant heritage landscapes* shall be conserved
- Section 2.6.3 – Planning authorities shall not permit *development* and *site alteration* on *adjacent lands* to *protected heritage property* except where the proposed *development* and *site alteration* has been evaluated and it has been demonstrated that the *heritage attributes* of the *protected heritage property* will be conserved

Each of the italicised terms is defined in Section 6.0 of PPS 2020:

- **Adjacent lands:** for the purposes of policy 2.6.3, those lands contiguous to a *protected heritage property* or as otherwise defined in the municipal official plan
- **Built heritage resource:** means a building, structure, monument, installation or any manufactured or constructed part or remnant that contributes to a property's cultural heritage value or interest as identified by a community, including an Indigenous community. *Built heritage resources* are located on property that may

be designated under Parts IV or V of the *Ontario Heritage Act*, or that may be included on local, provincial, federal and/or international registers.

- **Conserved:** means the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment that has been approved, accepted or adopted by the relevant planning authority and/or decision-maker. Mitigative measures and/or alternative development approaches can be included in these plans and assessments.
- **Cultural heritage landscape:** means a defined geographical area that may have been modified by human activity and is identified as having cultural heritage value or interest by a community, including an Indigenous community. The area may include features such as buildings, structures, spaces, views, archaeological sites or natural elements that are valued together for their interrelationship, meaning or association. Cultural heritage landscapes may be properties that have been determined to have cultural heritage value or interest under the *Ontario Heritage Act*, or have been included in on federal and/or international registers, and/or protected through official plan, zoning by-law, or other land use planning mechanisms.
- **Development:** means the creation of a new lot, a change in land use, or the construction of buildings and structures requiring approval under the Planning Act
- **Heritage attributes:** the principal features or elements that contribute to a protected heritage property's cultural heritage value or interest, and may include the property's built, constructed, or manufactured elements, as well as natural landforms, vegetation, water features, and its visual setting (e.g. significant views or vistas to or from a protected heritage property)
- **Protected heritage property:** property designated under Parts IV, V or VI of the *Ontario Heritage Act*; property subject to a heritage conservation easement under Parts II or IV of the *Ontario Heritage Act*; property identified by the Province and prescribed public bodies as provincial heritage property under the Standards and Guidelines for Conservation of Provincial Heritage Properties; property protected under federal legislation, and UNESCO World Heritage Sites.
- **Significant:** means, in regard to cultural heritage and archaeology, resources that have been determined to have cultural heritage value or interest. Processes and criteria for determining cultural heritage value or interest are established by the Province under the authority of the *Ontario Heritage Act*.

Importantly, the definition for *significant* includes a caveat that “criteria for determining significance...are recommended by the Province, but municipal approaches that achieve or exceed the same objective may also be used”, and that “while some significant resources may already be identified and inventoried by official sources, the significance of others can only be determined after evaluation.” The criteria for significance recommended by the Province as well as the need for evaluation is outlined in the following section.

3.2.2 Ontario Heritage Act and Ontario Regulation 9/06

The *Ontario Heritage Act* (OHA) enables the Province and municipalities to conserve significant individual properties and areas. For provincially owned and administered heritage properties, compliance with the *Standards and Guidelines for the Conservation of Provincial Heritage Properties* is mandatory under Part III of the OHA and holds the same authority for ministries and prescribed public bodies as a Management Board or Cabinet directive. For municipalities, Part IV and Part V of the OHA enables council to ‘designate’ individual properties (Part IV), or

properties within a heritage conservation district (HCD) (Part V), as being of 'cultural heritage value or interest' (CHVI). Evaluation for CHVI under the OHA is guided by *Ontario Regulation 9/06 (O. Reg. 9/06)*, which prescribes the *criteria for determining cultural heritage value or interest*. These include:

- 1) The property has **design value or physical value** because it:
 - i) Is a rare, unique, representative or early example of a style, type, expression, material or construction method;
 - ii) Displays a high degree of craftsmanship or artistic merit; or
 - iii) Demonstrates a high degree of technical or scientific achievement.
- 2) The property has **historic value or associative value** because it:
 - i) Has direct associations with a theme, event, belief, person, activity, organization, or institution that is significant to a community;
 - ii) Yields, or has the potential to yield information that contributes to an understanding of a community or culture; or
 - iii) Demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community.
- 3) The property has **contextual value** because it:
 - i) Is important in defining, maintaining or supporting the character of an area;
 - ii) Is physically, functionally, visually or historically linked to its surroundings; or
 - iii) Is a landmark.

Designated properties, which are formally described and recognized through by-law, must then be included on a 'Register' maintained by the municipal clerk.

3.2.3 Provincial Heritage Guidance

As mentioned above, heritage conservation on provincial properties must comply with the MHSTCI *Standards and Guidelines for the Conservation of Provincial Heritage Properties*, but this document can also be used as a 'best practice' guide for evaluating cultural heritage resources not under provincial jurisdiction. For example, the *Standards and Guidelines for the Conservation of Provincial Heritage Properties – Heritage Identification & Evaluation Process* (MHSTCI 2014) provides detailed explanations of the *O. Reg. 9/06* criteria and its application, while *Info Bulletin 3: Heritage Impact Assessments for Provincial Heritage Properties* describes how to organize the sections of an HIA and the range of possible impacts and mitigation measures.

More detailed guidance on identifying, evaluating, and assessing impact to built heritage resources and cultural heritage landscapes is provided in the *Ontario Heritage Tool Kit* series. Of these, *Heritage Resources in the Land Use Planning Process* (MHSTCI 2005) defines an HIA as:

'a study to determine if any cultural resources (including those previously identified and those found as part of the site assessment) are impacted by a specific proposed development or site alteration. It can also demonstrate how the cultural resource will be conserved in the context of redevelopment or site alteration. Mitigative or avoidance measures or alternative development or site alteration approaches may be recommended.'

Advice on how to organize the sections of an HIA is provided in the MHSTCI document, although municipalities may also draft their own terms of reference. The *Heritage Resources in the Land Use Planning Process* also outlines a number of direct and indirect adverse impacts to be considered when assessing the effects of a proposed development on a cultural heritage resource, as well as mitigation options.

Determining the optimal conservation or mitigation strategy is further guided by the MHSTCI *Eight guiding principles in the conservation of historic properties* (2007), which encourage respect for:

- 1) Documentary evidence (restoration should not be based on conjecture);
- 2) Original location (do not move buildings unless there is no other means to save them since any change in site diminishes heritage value considerably);
- 3) Historic material (follow 'minimal intervention' and repair or conserve building materials rather than replace them);
- 4) Original fabric (repair with like materials);
- 5) Building history (do not destroy later additions to reproduce a single period);
- 6) Reversibility (any alterations should be reversible);
- 7) Legibility (new work should be distinguishable from old); and,
- 8) Maintenance (historic places should be continually maintained).

3.3 City of Hamilton Heritage Policies

3.3.1 Official Plan

The City's heritage policies are outlined in the *Urban Hamilton Official Plan*, Volume 1, adopted by Council in 2009 and put into effect in 2013. The Plan defines cultural heritage resources as including:

Tangible features, structures, sites, or landscapes that, either individually or as part of a whole, are of historical, architectural, archaeological, or scenic value. Cultural heritage resources represent intangible heritage, such as customs, ways-of-life, values, and activities. The resources may represent local, regional, provincial or national heritage interests and values.

The following sections of the Official Plan highlight the policies for cultural heritage resources:

- B.3.4.1.3 Ensure that all new *development, site alterations*, building alterations, and additions are contextually appropriate and maintain the integrity of all on-site or *adjacent cultural heritage resources*.
- B.3.4.2.1(g) Ensure the conservation and protection of *cultural heritage resources* in planning and development matters subject to the Planning Act either through appropriate planning and design measures or as conditions of development approvals.
- B.3.4.2.1(h) Conserve the character of areas of cultural heritage significance, including designated heritage conservation districts and *cultural heritage landscapes*, by encouraging those land uses, *development* and *site alteration* activities that protect, maintain and enhance these areas within the City.
- B.3.4.2.6 The City recognizes there may be cultural heritage properties that are not yet identified or included in the Register of Property of Cultural Heritage Value or Interest or designated under the Ontario Heritage Act, but still may be of cultural heritage interest. These may be properties that have yet to be surveyed, or

otherwise identified, or their significance and cultural heritage value has not been comprehensively evaluated but are still worthy of conservation.

- B.3.4.2.7 The City shall ensure these non-designated and non-registered cultural heritage properties are identified, evaluated, and appropriately conserved through various legislated planning and assessment processes, including the Planning Act, R.S.O., 1990 c. P.13, the Environmental Assessment Act and the Cemeteries Act.

3.3.1.1 Cultural Heritage Impact Assessments

Section B.3.4.2.12 of the *Urban Hamilton Official Plan* defines the purpose of a CHIA, and stipulates that one is required for development proposals when there is 'potential to adversely affect':

- properties designated under any part of the *Ontario Heritage Act* or *adjacent* [emphasis in original] to properties designated under any part of the *Ontario Heritage Act*
- properties that are included in the City's Register of Property of Cultural Heritage Value or Interest or *adjacent* [emphasis in original] to properties included in the City's Register of Property of Cultural Heritage Value or Interest
- any area for which a *cultural heritage conservation plan statement* has been prepared
- properties that comprise or are contained within *cultural heritage landscapes* that are included in the Register of Property of Cultural Heritage Value or Interest

This section also states that a CHIA shall be prepared in accordance with Policy F.3.2.3 – Cultural Heritage Impact Assessments of the Urban Hamilton Official Plan and associated guidelines (*Infosheet: Cultural Heritage Impact Assessments* [2017]). Policy F.3.2.3 Cultural Heritage Impact Assessments state that where the City requires a proponent to prepare a CHIA, it shall be undertaken by a qualified professional with demonstrated expertise in cultural heritage assessment, mitigation and management, according to the requirements of the City's Cultural Heritage Impact Assessment Guidelines, and shall contain the following:

- a) identification and evaluation of all potentially affected *cultural heritage resource(s)*, including detailed site(s) history and a *cultural heritage resource* inventory containing textual and graphic documentation
- b) a description of the proposed development or site alteration and alternative forms of the development or site alteration
- c) a description of all *cultural heritage resource(s)* by the development and its alternative forms
- d) a description of the effects on the cultural heritage resource(s) by the proposed development or site alteration and its alternative forms
- e) a description of the measures necessary to mitigate the adverse effects of the development or site alteration and its alternatives upon the *cultural heritage resource(s)* (City of Hamilton 2016:8).

The *Infosheet: Cultural Heritage Impact Assessments* also identifies that disturbances caused by new development, site alteration or redevelopment may include:

- demolition, removal, or any other damaging effects to buildings or structures of cultural heritage value or interest

- disruption of the setting, context, landscape or layout of the cultural heritage resource
- development of lands adjacent to cultural heritage resources that is not sympathetic to the adjacent property's cultural heritage attributes

The required content of a CHIA is also outlined in the *InfoSheet*, as is the review process by the City's Planning staff and Hamilton Municipal Heritage Committee.

4.0 GEOGRAPHIC AND HISTORICAL CONTEXT

4.1 Geographic Context

The subject properties are located in southwestern Ontario, approximately 8 kilometres (km) south of Hamilton Harbour, and within the Haldimand Clay Plain physiographic region, described by Chapman and Putnam (1984:156-157) as:

Although it was all submerged in Lake Warren, the till is not all buried by stratified clay; it comes to the surface generally in low morainic ridges in the north. In fact, there is in that area a confused intermixture of stratified clay and till. The northern part has more relief than the southern part where the typically level lake plains occur.

The topography is predominately flat, with a gentle rise in elevation from the lakefront which runs from north to south toward the Niagara Escarpment. The nearest major water courses to the subject properties are Spencer Creek and Redhill Creek, which are 5 km west and 7 km east, respectively, and flow north. Trees in the vicinity of the subject properties are almost exclusively deciduous species including oak, maple and linden. Coniferous species—such as fir and spruce—are present, though are typically found on the slopes of the Escarpment.

In relation to political features, the subject properties are less than 10 km south of downtown Hamilton and 1.8 km north of John C. Munro Hamilton International Airport. It is in a block bound by Twenty Road West on the north, Dickenson Road West on the south, Glanaster Road on the west, and Upper James Street on the east.

4.2 Glanford Township, Wentworth County & City of Hamilton

Following the Toronto Purchase of 1787, today's southern Ontario was included within the old Province of Quebec and divided into four political districts: Lunenburg, Mechenburg, Nassau, and Hesse. These became part of the Province of Upper Canada in 1791, and renamed the Eastern, Midland, Home, and Western Districts, respectively. The subject properties were within the former Nassau District, then later the Home District, which originally included all lands between an arbitrary line on the west running north from Long Point on Lake Erie to Georgian Bay, and a line on the east running north from Presqu'île Point on Lake Ontario to the Ottawa River. Each district was further subdivided into counties and townships.

In 1816, Wentworth County was created within the Gore District from the southwest portions of York County in the Home District, and the west portion of the Niagara District. Of Wentworth's eight townships (later eleven) the subject properties are within the Glanford Township, which lies between the Townships of Ancaster and Binford. This Township was initially surveyed by Deputy Provincial Land Surveyor Augustus Jones, who completed the work in 1796 (Gentilcore & Donkin 1973:42). Jones employed the single-front method, where only the concessions were surveyed and lots of 120 to 200 acres were delineated to be five times as long as they were wide (Schott 1981:77-93; Figure 3). However, due to the imprecise surveying techniques and unusual lot dimensions, many lots within the Glanford Township were 188-acres, rather than 200 (Golder 2014).

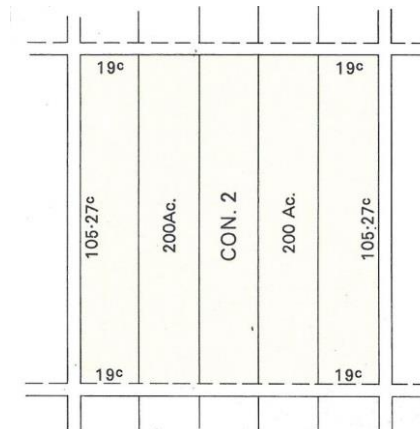


Figure 3: The single front survey system, used from 1783 to 1818. As depicted here, each lot is 200 acres (Ac.), created from surveying 19 chains by 105.27 chains (1 chain = 66 feet/ 20.12 metres) (Gentilcore 1969:61).

Hamilton —named for early merchant George Hamilton, who had laid out the town in 1813— was the district town for Gore District and regarded as the ‘key to the west’ for its strategic position at the head of Lake Ontario (Smith 1846:65, 75). Incorporated as a town in 1833, by 1845 it could boast an urban population of 6,475 that supported a thriving roster of ‘professions and trades’, a stone jail and courthouse, a brick market house, and eleven churches for the Catholic and Protestant denominations, including Baptist and Methodist African-Canadian congregations. Daily stagecoach and steamboat service to the other major towns of southwestern Ontario was also available (Smith 1846:75-76).

Hamilton’s development during the second half of the 19th century was marred by a failed investment in the Great Western Railway and the depression of 1857-58, but the town eventually recovered and by the 1870s had emerged as a manufacturing centre, earning the moniker of being the ‘Birmingham of Canada’, then later ‘Steeltown’ (Palmer 1979:15). This had a knock-on effect for the building industry, which increased 92% between 1850 and 1871 (Palmer 1979:16). Hamilton continued to grow through the first half of the 20th century, playing a leading role in supporting the war effort during both the First and Second World Wars. However, its textile industry would falter in the 1960s, and by the 1980s significant manufacturing and steel plant employers such as International Harvester and Stelco were forced to institute major layoffs.

The Township of Glanbrook was formed through the amalgamation of the Townships of Binbrook and Glanford in 1974, the same year in which Wentworth County was replaced by the Regional Municipality of Hamilton-Wentworth. In 2001, the Regional Municipality and its six constituent municipalities were amalgamated into the City of Hamilton, and the Township of Glanbrook was absorbed into the expanding City of Hamilton (Glanbrook Heritage Society 2012).

4.3 Subject Properties

4.3.1 Lot 1, Concession 2

4.3.1.1 555 Glancaster Road

The property at 555 Glancaster Road was historically located on Lot 1, Concession 2 in the geographic Township of Glanford. The Crown patent was granted to Jacob Smith (Schmidt; 1739-1821) in 1801.

Originally from New Jersey, Jacob married Elizabeth Lewis in 1761. He was a Loyalist who fought for the British during the American Revolution (1775-1783). Jacob, Elizabeth, their thirteen children, one son-in-law, one daughter-in-law and four grandchildren left the United States for Canada in 1788. Jacob was subsequently granted 200 acres of land in Canada and the Smiths were some of the first settlers in Glanford Township (The Glanford Historical Society 1985: 251-252). They established a homestead on Lot 4, Concession 1 in Glanford. Jacob was later granted 834 acres and his family an additional 2,446 acres in the Glanford, Ancaster and Saltfleet Townships (The Glanford Historical Society 1985: 253).

Ridout's 1819 map identifies Lewis Smith, grandson of Jacob, as the owner of the lot (Figure 4). A framed house is listed on the property by the 1840 Assessment Roll and Smith is still identified as the owner in the 1845 Assessment Roll. By 1850, Lewis's wife, Sarah Smith, lived on the property. Surtees map of Wentworth County from 1859 lists Samuel Smith and J.S. Hide as occupying the property (Figure 4). Samuel was known locally for making guns. The barrels were drilled on a hand lathe from steel, and the firing mechanism was forged by hand in his shop (The Glanford Historical Society 1985: 125). The first Sunday School, a log building located on Samuel's property, was established in 1861 by Lafayette Smith, nephew of Samuel Smith (The Glanford Historical Society 1985: 100). Page & Smith's 1875 map of Glanford identifies the property as owned by the heirs of Samuel Smith and depicts a farmhouse and orchard on the property (Figure 4). By the 1890 Assessment Roll, John Calder Sr., yeoman, lived on the property with John Calder Jr., farmer, and James Calder. John and James Calder retained ownership by the 1895 Assessment Roll and the Calder family retained ownership until at least 1905.

Topographical maps indicate that between 1929 and 1938, three structures were constructed on the property (Figure 5). Aerial imagery appears to indicate that the structures began to be demolished as early as the 1970s (Figure 6). The property became golf course circa 1988, called the Glanaster Golf Club, which closed its doors in May 2015 (OntarioGolf.com n.d.; Werner 2015).

4.3.2 Lot 2, Concession 2

4.3.2.1 9751 Twenty Road West

The property at 9751 Twenty Road West was historically located on the northwest half of Lot 2, Concession 2 in the Township of Glanford.

In 1819, the property was owned by Jacob Smith who received the Crown patent in 1836. Jacob Smith was noted as the owner by the 1841 Assessment Roll, and a framed house under two stories was constructed on the property. By the 1850 Assessment Roll, Obedia and Elijah Smith, grandsons of Jacob, owned the lot and are listed as the owners in Surtee's 1859 map of Wentworth County (Figure 4). Page & Smith's 1875 map illustrates the lot as divided into two, with the east half (the subject property) owned by Obedia Smith. By the 1890 Assessment Roll, Obedia, yeoman, David J. Smith, farmer, and Willard Smith, farmer, are identified as living on the east half of the lot. Willard was one of Obedia's five children. David, Willard, and Obedia Smith continued to live on the property by the 1895 Assessment Roll, along with Elton J. Smith, yeoman, and M. L. Smith, widow. Willard, David and Obedia continued to live on the property until at least 1912.

By the 1920 Assessment Roll, Willard S. Smith (1865-1951), yeoman and steelworker, lived at the property with his wife Annie L. (Spittal) and spinsters Mary E., Maria, Clara and Esther Smith. Topographical and aerial maps show a building on the property at the current location of 9751 Twenty Road West which has remained unchanged, although by the 1938, another outbuilding structure is visible to the northeast of the house (Figure 5 and Figure 6).

4.3.3 Lot 4, Concession 2

4.3.3.1 9285 Twenty Road West

The property at 9285 Twenty Road West was historically located on the north half of Lot 4, Concession 2 in the Township of Glanford. Lot 4 was originally divided in half east-west, and later divided in half north-south.

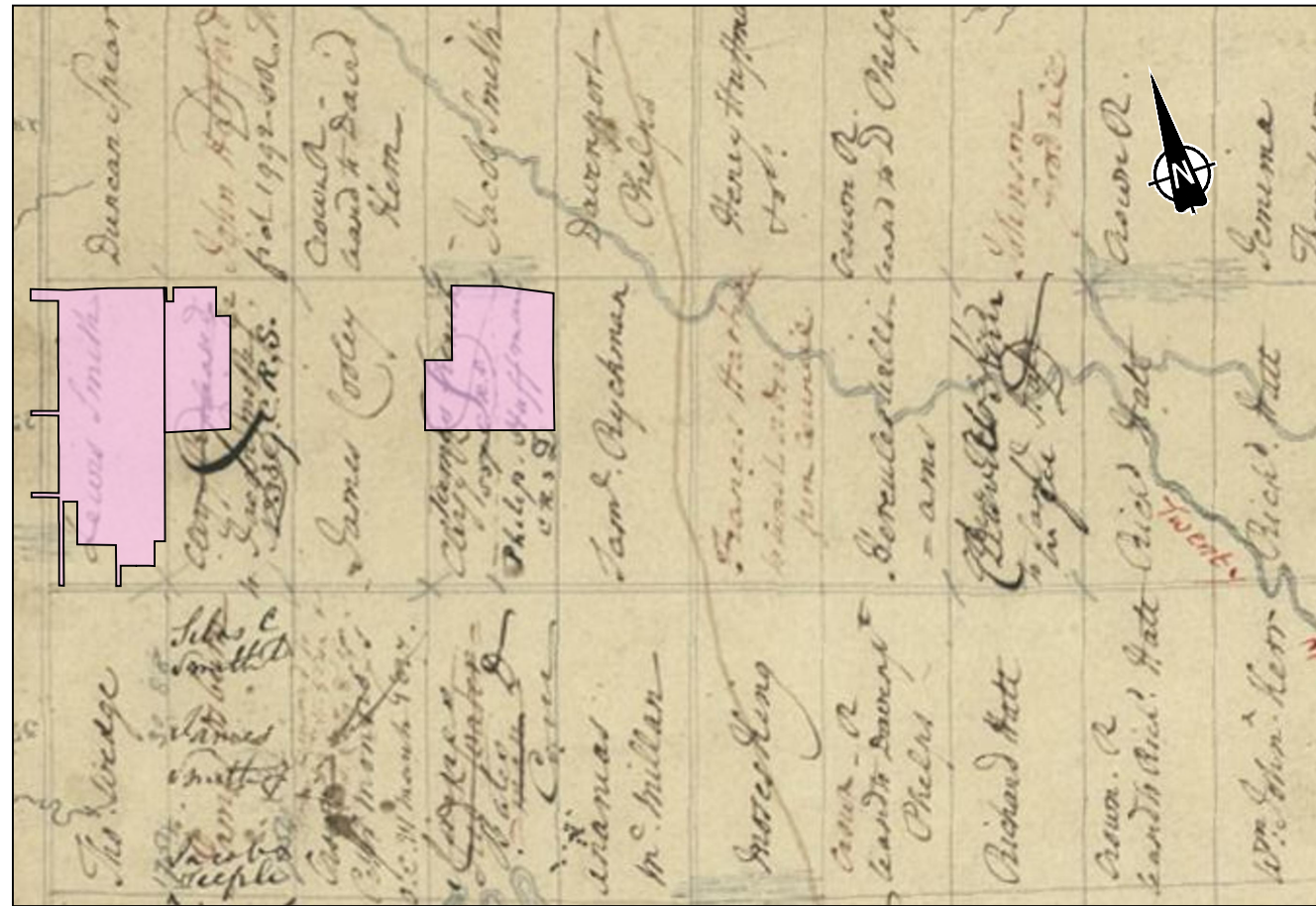
In 1819, the west half of the lot was owned by James French and the east half owned by Philip Huffman. Huffman was granted the lot from the Crown in 1837 and that same year granted the east half to David Kern, while the west half was still owned by James French who was granted the land from the Crown the following year. By the 1841 Assessment Roll, William Kern is noted as the owner of both the north and south half of Lot 4, Concession 2 in a framed house under two stories. Around 1855, Kern sold his land which included Lot 3, Concession 2, to Alexander (Sandy) Marshall Sr.

The 1851 Census identifies Marshall Sr. as a farmer who emigrated to Canada from Ireland with his wife Anne Wallace. At this time, Alexander Sr. and Anne had nine children: Mary, William, George, Alexander, Catherine, Richard, Sarah A., John and James. By 1859, Alexander Marshall Sr. owned the north half and the south half is noted as the 'Estate of J. French' (Figure 4). Marshall Sr. operated a lime quarry which produced about 120,000 bushels of lime a year for the building industry and sewage disposal and was in operation until the late 1920s (Burkholder 1951). Alexander Marshall Sr. passed away in 1862 at the age of 52.

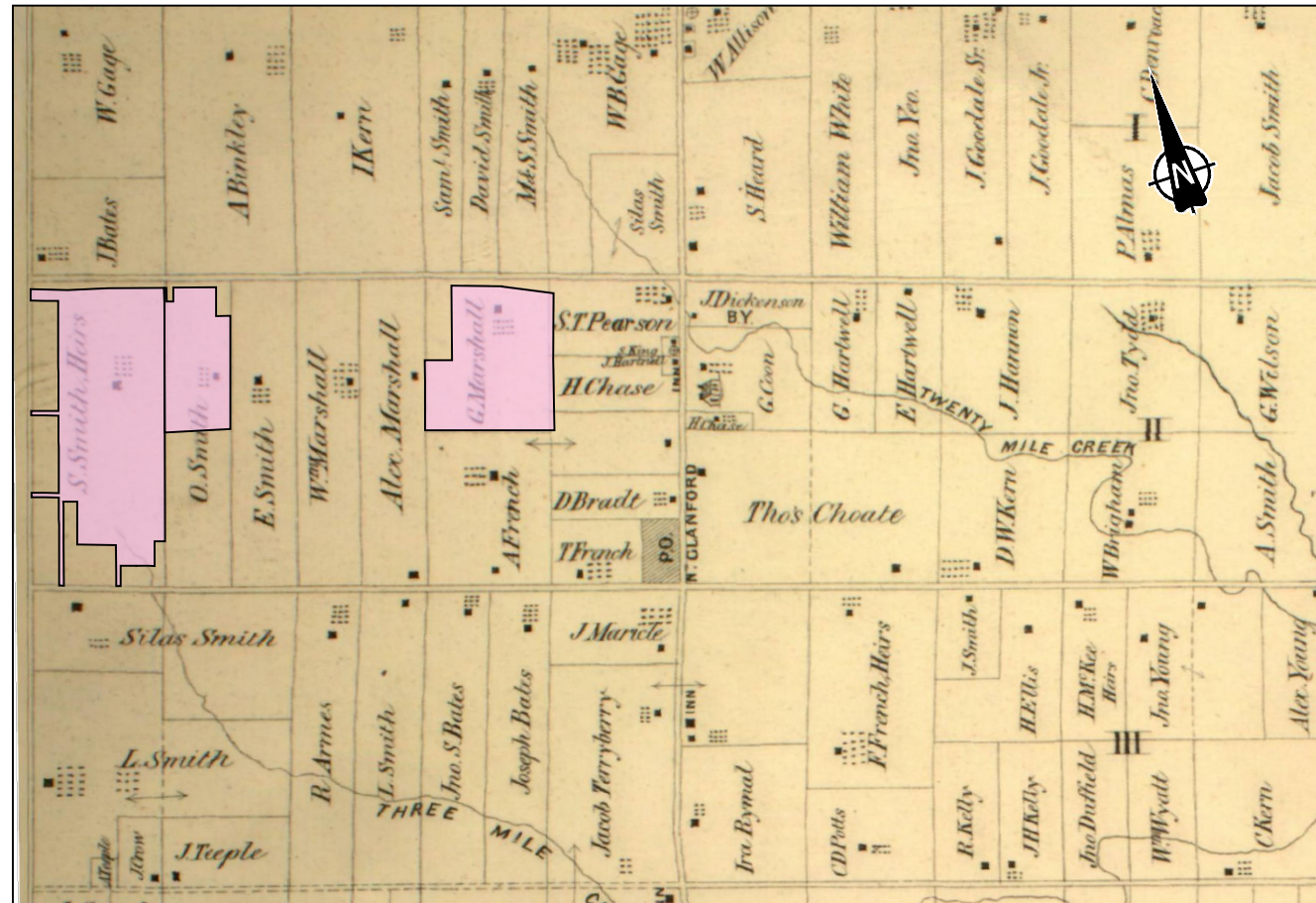
Page & Smith's 1875 map identifies the south half as owned by A. French and the north half owned by George Marshall. George Marshall (1839-), yeoman, is identified as the owner of the north half of Lot 4 in the 1890 assessment roll with a property value of \$4,400. By 1895, George was living on the property with his sister Grace Marshall, spinster, Lawry Marshall, yeoman, John Marshall and Thomas W. Marshall, minors. By 1912, George Marshall lived at the property with Lawry and they occupied the property until at least 1920.

Topographical maps from 1907 to 1938 depict a building on the property at the current location of 9285 Twenty Road West, although by 1938 an outbuilding was constructed to the south of the house (Figure 5). This outbuilding does not appear to be visible by 1972 (Figure 6).

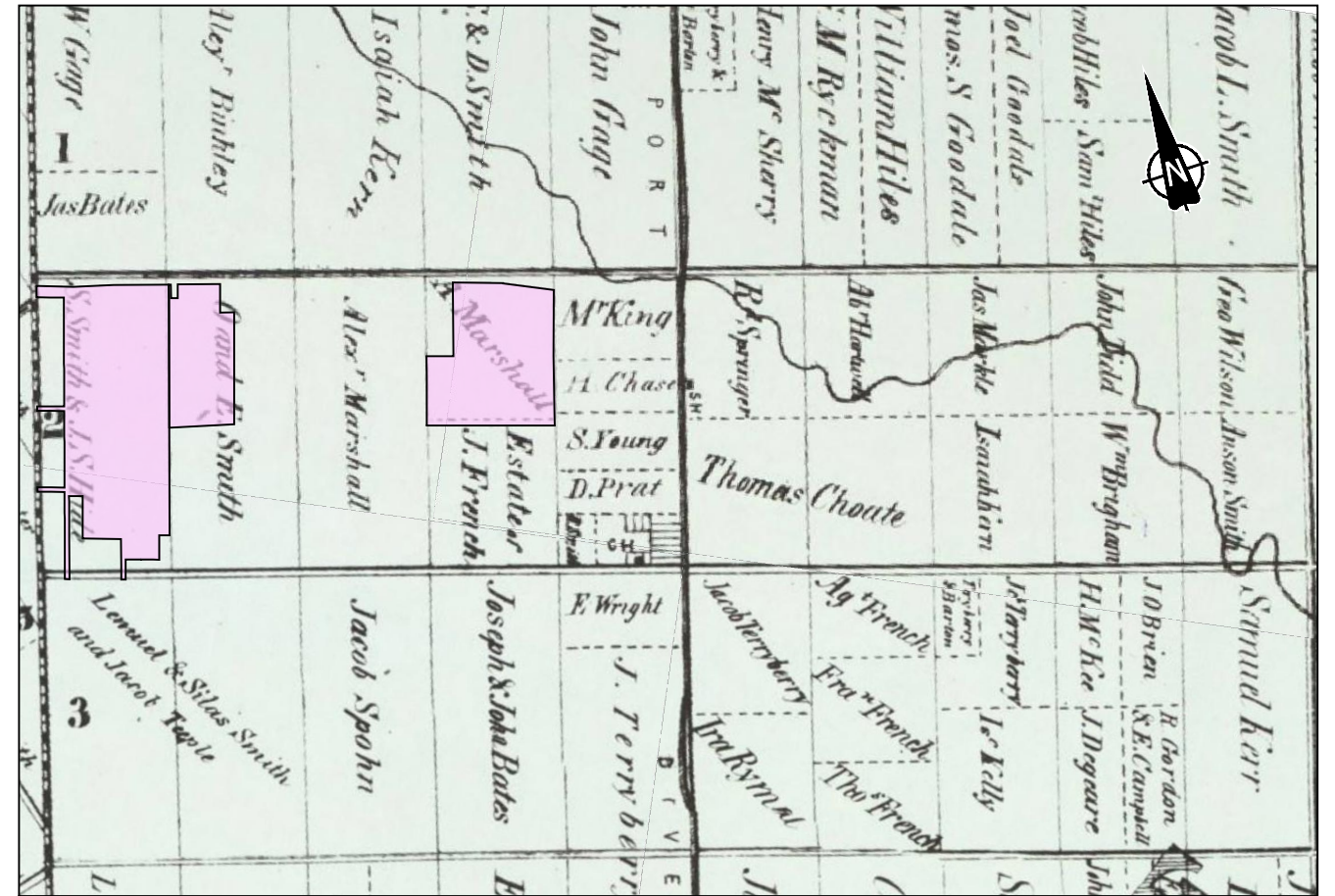
3A - 1819



3C - 1875



3B - 1859



LEGEND

APPROXIMATE SUBJECT PROPERTY

REFERENCE

- DRAWING BASED ON:
- PROPERTY LINE DATA PROVIDED BY CORBETT LAND STRATEGIES INC.
 - 3A. HERITAGE PROPERTY INDEX 1819 GLANFORD TOWNSHIP.
 - 3B. 1859 MAP OF WENTWORTH TOWNSHIP FROM MAPS.LIBRARY.UTORONTO, ONTARIO HISTORICAL COUNTY MAP PROJECT.
 - 3C. 1875 PAGE & SMITH TOWNSHIP OF GLANFORD FROM DIGITAL.MCGILL.CA.

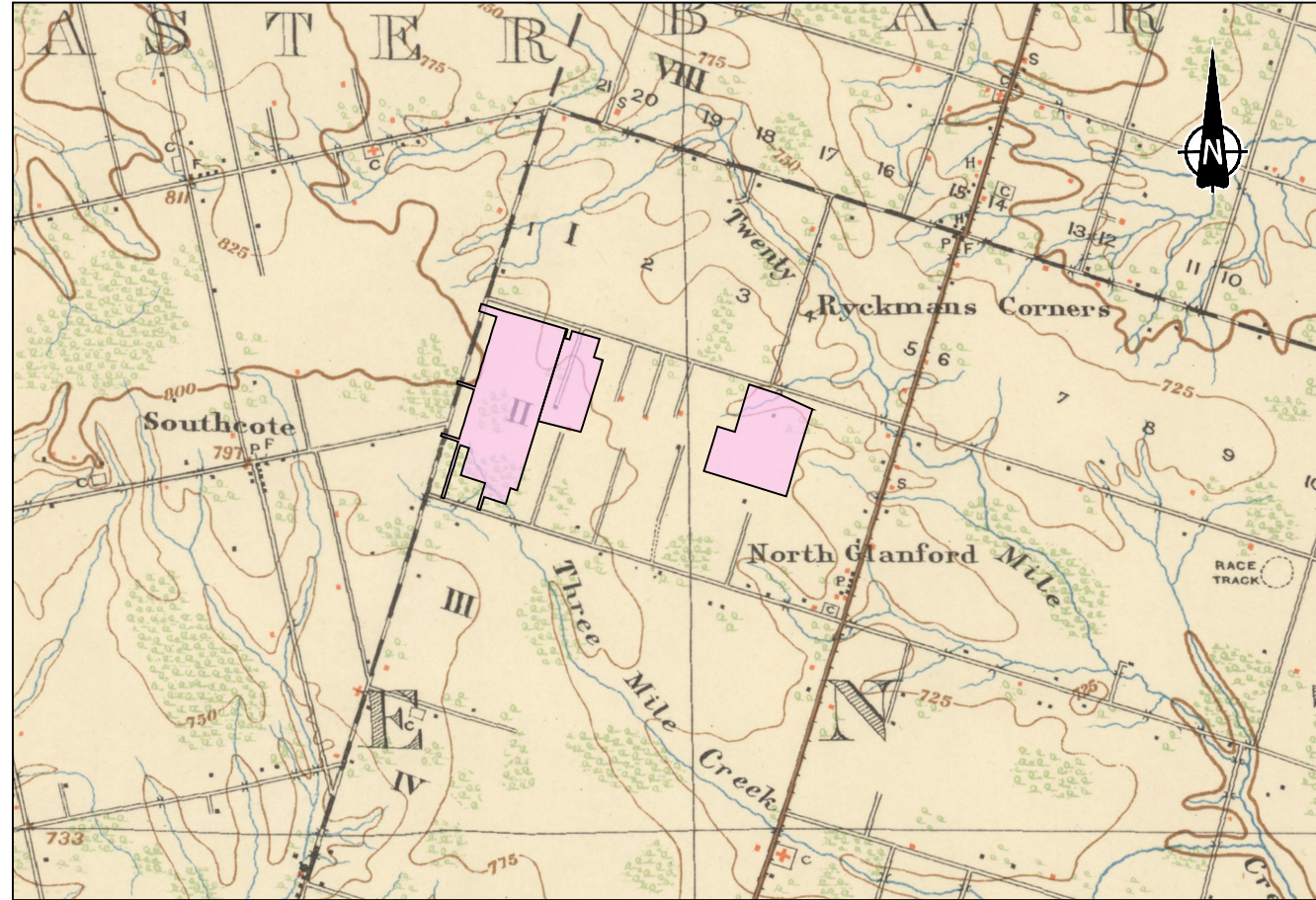
NOTES

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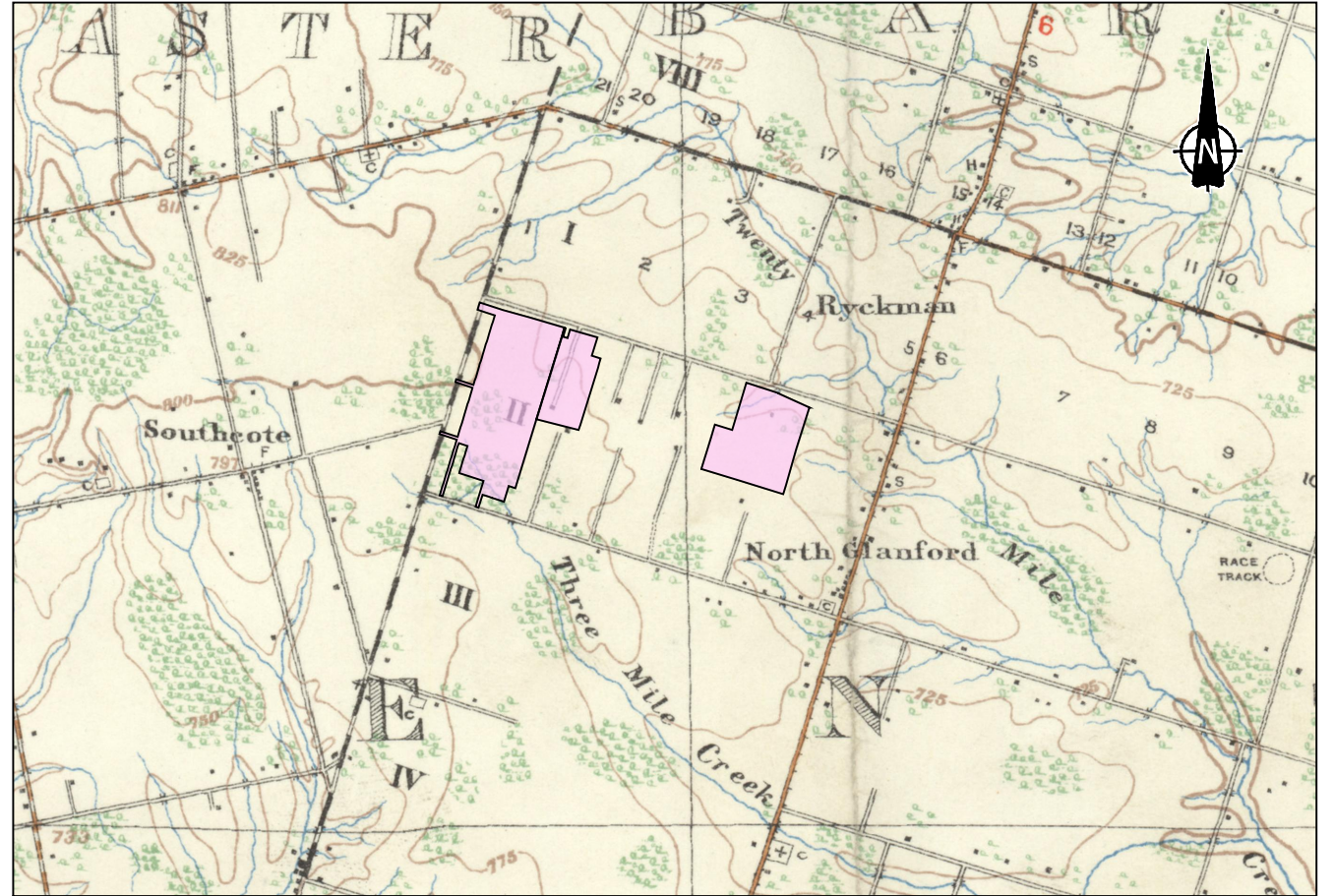
ALL LOCATIONS ARE APPROXIMATE ONLY.

PROJECT		CULTURAL HERITAGE IMPACT ASSESSMENT	
		555 GLANCASTER ROAD, 9751 AND 9285 TWENTY ROAD WEST HAMILTON, ONTARIO	
TITLE			
SUBJECT PROPERTIES OVERLAID ON HISTORICAL MAPS			
PROJECT No.	19125764	FILE No.	19125764-3000-R01004
CADD	DCH/ZJB	SCALE	NTS REV.
CHECK	<i>[Signature]</i>	DATE	Sept 4/20
			FIGURE 4

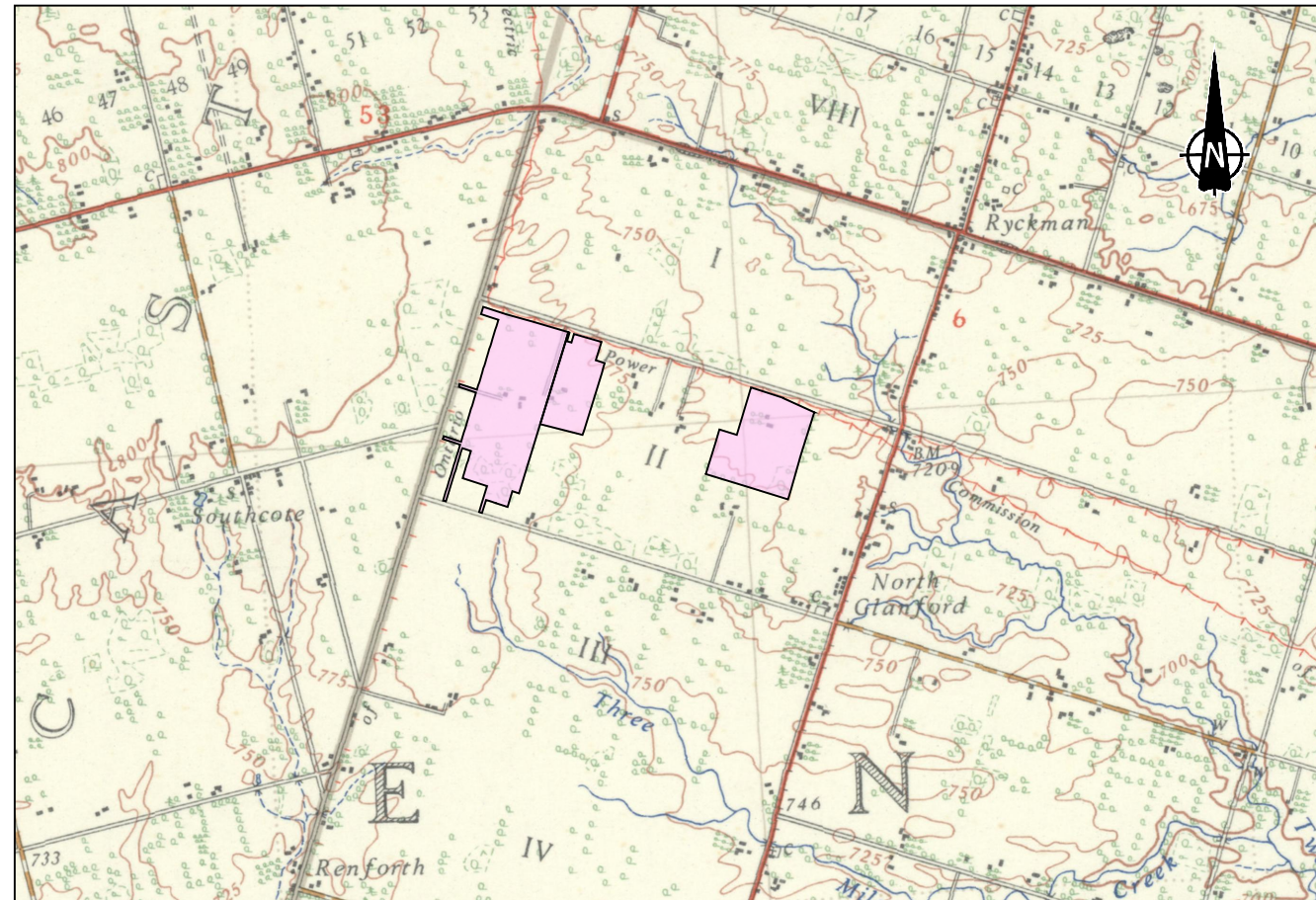
4A - 1907



4B - 1929



4C - 1938



LEGEND

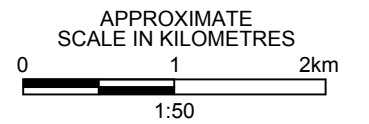
APPROXIMATE SUBJECT PROPERTY

REFERENCE

- DRAWING BASED ON:
- PROPERTY LINE DATA PROVIDED BY CORBETT LAND STRATEGIES INC.
 - 4A. DEPARTMENT OF MILITIA AND DEFENCE, 1905, GRIMSBY SHEET #4.
 - 4B. DEPARTMENT OF NATIONAL DEFENCE 1910, REPRINTED 1929, GRIMSBY SHEET #4.
 - 4C. DEPARTMENT OF NATIONAL DEFENCE 1938, REPRINTED 1938, CANADA SHEET 30 M/4.

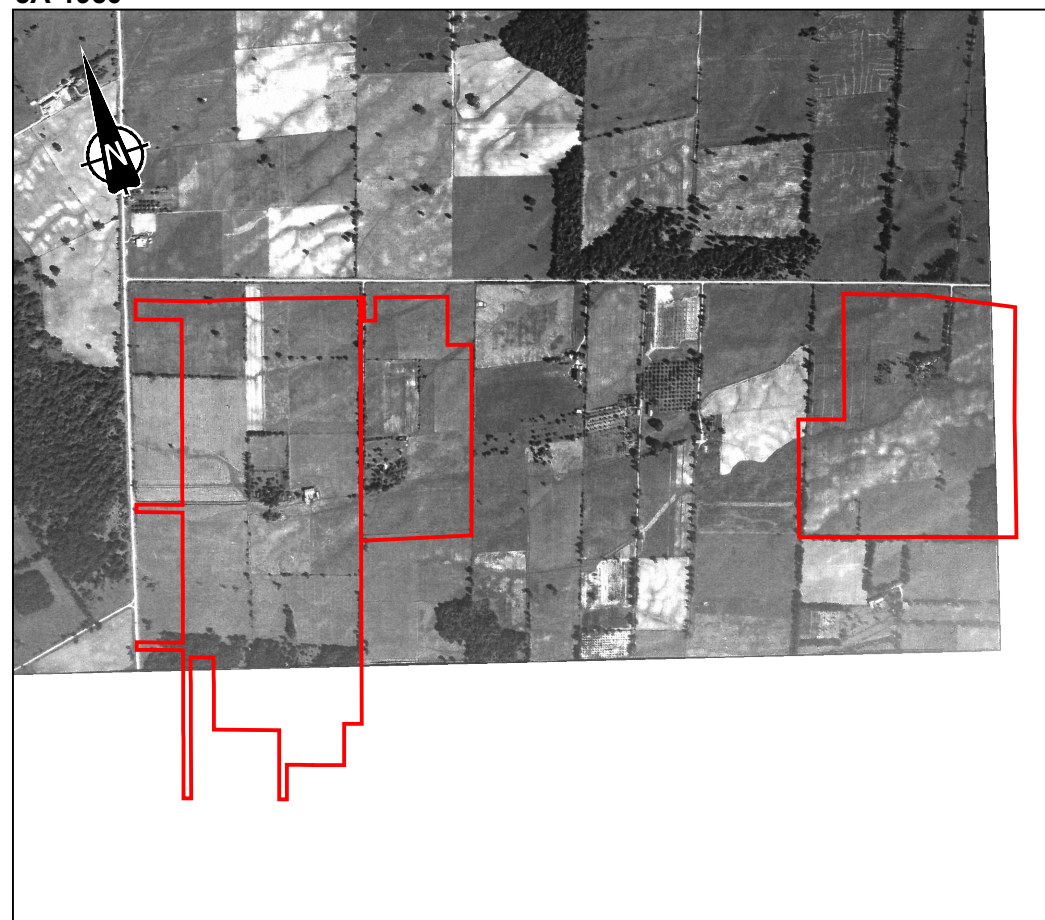
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 ALL LOCATIONS ARE APPROXIMATE ONLY.

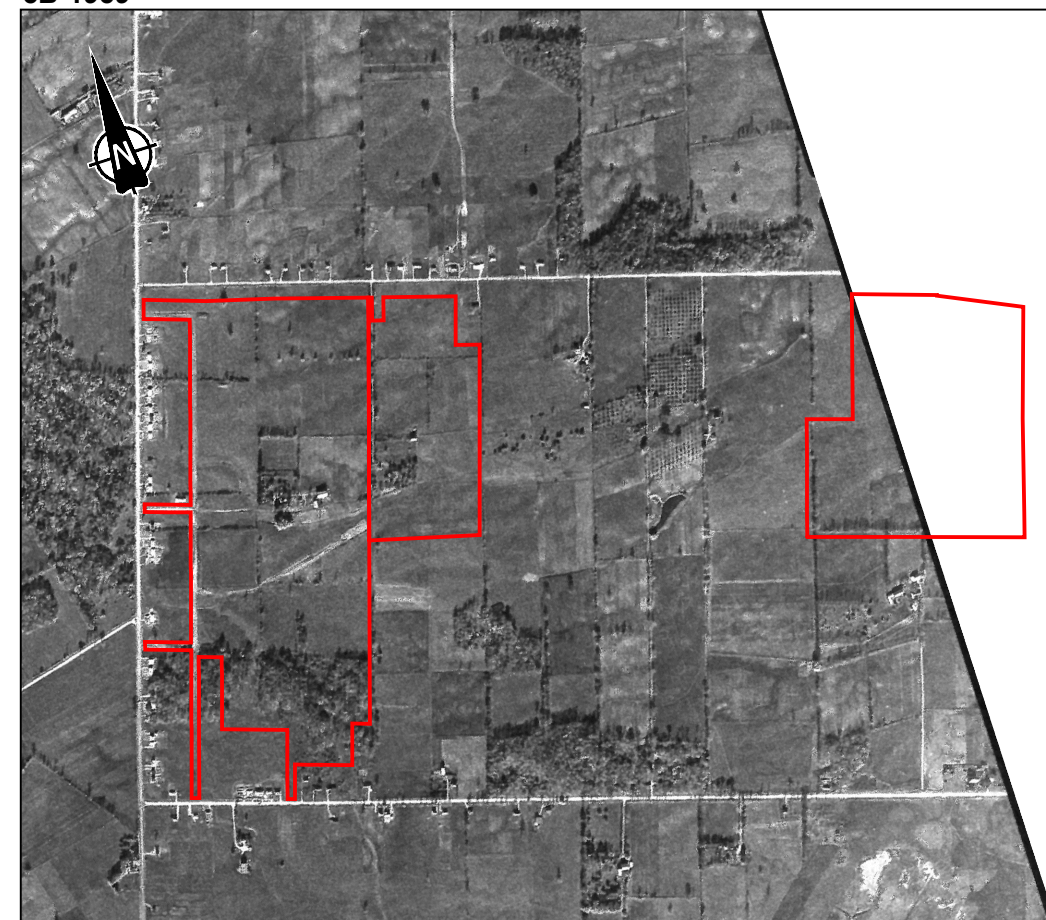


PROJECT CULTURAL HERITAGE IMPACT ASSESSMENT 555 GLANCASTER ROAD, 9751 AND 9285 TWENTY ROAD WEST HAMILTON, ONTARIO			
TITLE SUBJECT PROPERTIES OVERLAID ON TOPOGRAPHICAL MAPS			
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	CADD DCH/ZJB	SCALE AS SHOWN REV.	
	CHECK	Sept 4/20	
			FIGURE 5

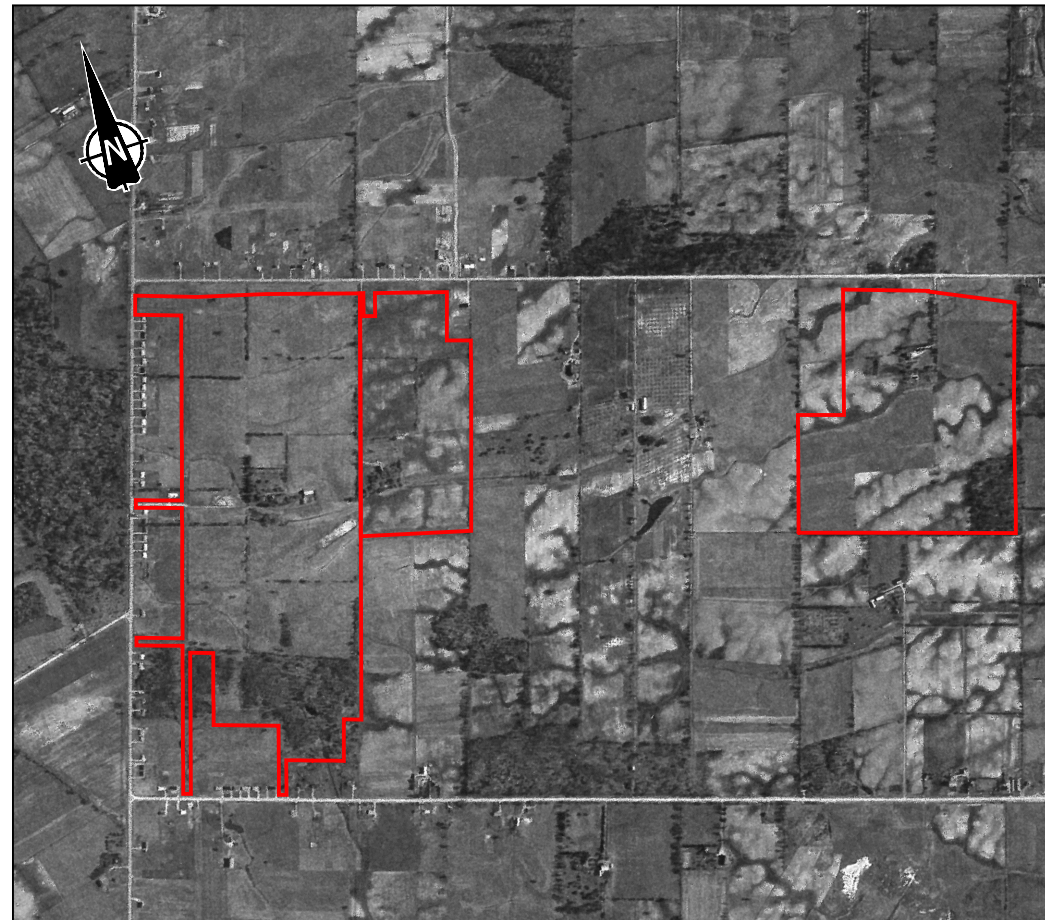
5A-1950



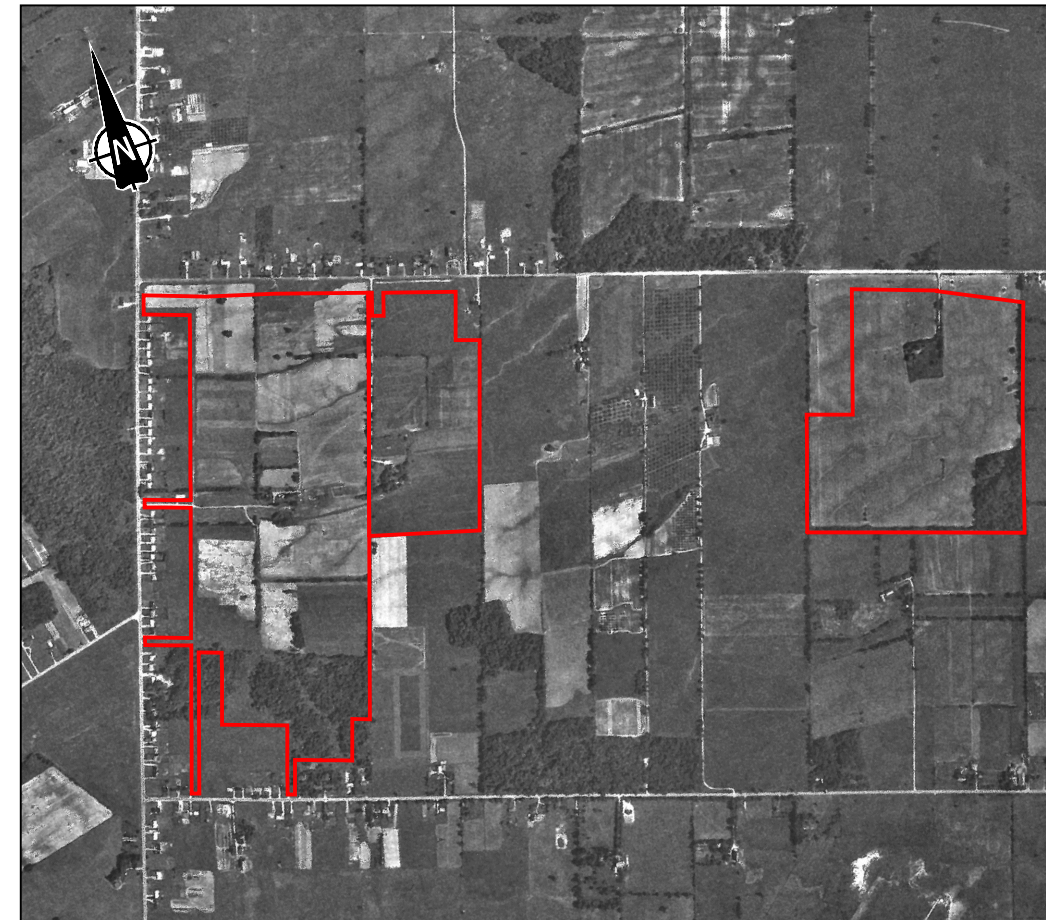
5B-1959



5C-1962



5D-1972



LEGEND

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REFERENCE

DRAWING BASED ON:

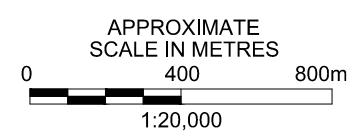
PROPERTY LINE DATA PROVIDED BY CORBETT LAND STRATEGIES INC.

1950, 1959, 1962, 1972 NATIONAL AIR PHOTO LIBRARY.

NOTES

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ALL LOCATIONS ARE APPROXIMATE ONLY.



PROJECT CULTURAL HERITAGE IMPACT ASSESSMENT
555 GLANCASTER ROAD, 9751 AND 9285 TWENTY ROAD WEST
HAMILTON, ONTARIO

TITLE
**SUBJECT PROPERTIES OVERLAID
ON AERIAL MAPS**

	PROJECT No.	19125764	FILE No.	19125764-3000-R01006
	CADD	DCH/ZJB	Sept 4/20	SCALE AS SHOWN REV.
	CHECK	<i>[Signature]</i>		FIGURE 6

5.0 EXISTING CONDITIONS

5.1 Setting

The subject properties can be characterized as rural residential and open space. Traffic on Twenty Road West is divided into one travel lane in each direction, with no on-street parking (Figure 7 and Figure 8). A new sidewalk and young vegetation has been planted in the right-of-way on the north side of the road, nearby newer suburban development. Traffic on Dickenson Road West is also divided into one travel lane in each direction with no on street parking (Figure 9 and Figure 10). There are no sidewalks except for a gravel shoulder and the street is lined with mature vegetation to the west. The surrounding area to the south of Twenty Road West has been zoned A2: Rural. The subject properties are adjacent to 9445 Twenty Road West, 9322 Dickenson Road West and 9236 Dickenson Road West, which are municipally inventoried heritage properties.

The clubhouse at 555 Glancaster Road is situated approximately 361 metres (m) east of the public right-of-way from Glancaster Road and approximately 440 m south of the public right-of-way from Twenty Road West. It is surrounded by open space of varying elevations with sparse, semi-mature evergreens dispersed throughout (Figure 11). The house at 9751 Twenty Road West is situated approximately 484 m from the public right-of-way, while 9285 Twenty Road West is approximately 197 m from the public right-of-way. Surrounding the two Twenty Road West houses is gentle rolling terrain previously used for agricultural purposes, with mature vegetation surrounding 9751 Twenty Road West (Figure 12 and Figure 13). There is also mature vegetation on the south portion of each property and forested hedgerows between the properties. A watercourse runs west-east to the south of the lots, collecting at a pond to the south of the properties. The Twenty Road West properties have been zoned A2: Rural, while 555 Glancaster Road has been zoned P4: Open Space.



Figure 7: Twenty Road West facing west from 9285 Twenty Road West



Figure 8: Twenty Road West facing east from 9285 Twenty Road West



Figure 9: Glancaster Road facing south



Figure 10: Glancaster Road facing north



Figure 11: Open space at 555 Glancaster Road



Figure 12: Open space and rolling terrain at 9751 Twenty Road West, to the northeast of the house



Figure 13: Looking towards Twenty Road West from 9285 Twenty Road West

5.2 Built Environment

5.2.1 555 Glancaster Road

555 Glancaster Road includes a single-detached, two-storey bungalow style clubhouse and a metal-clad outbuilding to the southeast (Figure 14 to Figure 16). Each built element is described in detail below.



Figure 14: 555 Glancaster Road: West façade



Figure 15: 555 Glancaster Road: South and east façades



Figure 16: 555 Glancaster Road: East façade

5.2.1.1 Golf Club

5.2.1.1.1 Exterior

The golf club building stands on a concrete block foundation with red stretcher brick cladding at the first storey and vinyl siding at the second storey (Figure 17). There is minimal exterior decoration. The medium hip roof has plain fascia and soffit. A single stack chimney is located at the offset front of the west façade, with another three stack brick chimney on the exterior rear of the east façade (Figure 18).

A set of exterior concrete stairs with metal railing lead to an entrance to the basement (Figure 19). This is located between the club house and the semi-detached double door garage to the north (Figure 20). Windows have a flat opening and are three-paned, although there are vertical rectangular windows on the west façade separated by brick plinths (Figure 21). Most of the windows on the first storey have been covered in plywood. The centre main entrance on the west façade is an open porch with a single brick column supporting the roof, with a double leaf, glazed door accessible through a small set of straight concrete stairs with no railing (Figure 22). To the north of the main entrance is a single-leaf glazed door accessible through a small set of straight concrete stairs (Figure 23). To the south of the main entrance on the west façade is a set of patio doors. Another single-leaf door was on the east façade and is covered in plywood. The interior of the golf club was not accessible.



Figure 17: 555 Glancaster Road: Concrete foundation and red stretcher brick cladding



Figure 18: 555 Glancaster Road: Three stack brick chimney on the east façade



Figure 19: 555 Glancaster Road: Stairs leading to the basement



Figure 20: 555 Glancaster Road: Semi-detached double garage



Figure 21: 555 Glancaster Road: Vertical rectangular windows on the south façade



Figure 22: 555 Glancaster Road: Main entrance on the west façade



Figure 23: 555 Glancaster Road: Single leaf door on the west façade

5.2.1.2 Outbuilding

5.2.1.2.1 Exterior

An outbuilding is located to the southeast of the golf club building (Figure 24 to Figure 27). The outbuilding is clad in vertical metal siding with an asphalt roof and concrete foundation (Figure 28). The main structure has a medium gable roof with a shed roof addition (Figure 29). Two-paned rectangular horizontal windows are located only on the south façade, along with a large full-storey entrance and double-leaf entrance boarded up in plywood to the east of the south façade. A stove pipe is visible at the northwest corner of the building. Another boarded up garage door is located on the north façade.



Figure 24: 555 Glancaster Road: South façade of the outbuilding



Figure 25: 555 Glancaster Road: West and south façades of the outbuilding



Figure 26: 555 Glanaster Road: North façade of the outbuilding



Figure 27: 555 Glanaster Road: North and east façades of the outbuilding



Figure 28: 555 Glancaster Road: Concrete foundation of the outbuilding



Figure 29: 555 Glancaster Road: Wood eaves at the outbuilding

5.2.1.2.2 Interior

The interior of the outbuilding has a concrete floor with exposed wood frame and roof trusses (Figure 30 and Figure 31). The walls are constructed of platform frames.



Figure 30: 555 Glanaster Road: Exposed wood frame and roof trusses of the outbuilding



Figure 31: 555 Glanaster Road: Exposed light wood frame and roof trusses, with platform framing on the walls of the outbuilding

5.2.2 9751 Twenty Road West

9751 Twenty Road West includes a single-detached, one-and-a-half storey Gothic Revival style vacant building (Figure 32 to Figure 36), a plywood outbuilding to the northwest of the house and the remnants of an outbuilding to the northeast. Each element is described in detail below.



Figure 32: 9751 Twenty Road West: South façade



Figure 33: 9751 Twenty Road West: South and east façades



Figure 34: 9751 Twenty Road West: East façade



Figure 35: 9751 Twenty Road West: North and west façades



Figure 36: 9751 Twenty Road West: West and south façades

5.2.2.1 House

5.2.2.1.1 Exterior

The building has a L-shaped plan and stands on a coursed rubble foundation with red common brick cladding and water table (Figure 37). It has a medium gable roof with projecting eaves and a centre gable on the south façade that is clad in asphalt shingles. Cross gables are on the east and west façades with moulded fascia and frieze and plain soffit (Figure 38 and Figure 39). A single brick chimney is located to the side left and there are remnants of an exterior chimney on the north façade.

Windows have both segmental arch and pointed openings (Figure 40 and Figure 41). At the centre of the centre gable and cross gables are six-pane pointed windows with brick voussoirs, some of which have been painted white. Each window has a stone lug sill, majority of each are bush hammered. The segmental arch, two-over-two windows also have soldier brick voussoirs, some of which have also been painted white. There are square windows on the east and north façades which also have brick voussoirs, plain wood trim and stone lug sill (Figure 42).

The main entrance on the west façade is an off-centre, wood glazed door with painted soldier voussoirs and is accessible by a wood ramp (Figure 43). There are two single-leaf panelled doors underneath the verandah on the east façade; one has six-panels while the other has two-panels and is glazed (Figure 44 and Figure 45). Both doors originally had a segmental arch opening with brick soldier voussoirs above. The entrance on the south façade is a single-leaf wood glazed door with a storm door and has brick voussoirs and quoin detailing which have been painted white (Figure 46). There are remnants of a concrete set of straight stairs leading up to it. An identical entrance is located on the west façade which provides access to a wood patio. There was once an entrance on the north façade, evident by soldier voussoirs in the brick. This has been replaced with a square window. The east façade has an open porch with plain posts (Figure 47).



Figure 37: 9751 Twenty Road West: Coursed rubble foundation with red common brick cladding



Figure 38: 9751 Twenty Road West: Centre gable on the south façade



Figure 39: 9751 Twenty Road West: Cross gable on the east façade



Figure 40: 9751 Twenty Road West: Pointed window at the centre of cross gable with bush hammered lug sill



Figure 41: 9751 Twenty Road West: Segmental arch window with soldier brick voussoirs painted white and bush hammered lug sill



Figure 42: 9751 Twenty Road West: Square window on the east façade



Figure 43: 9751 Twenty Road West: Main entrance on the west facade with painted soldier voussoirs



Figure 44: 9751 Twenty Road West: Single-leaf entrance on the east façade



Figure 45: 9751 Twenty Road West: Single-leaf entrance underneath the verandah on the east façade



Figure 46: 9751 Twenty Road West: Entrance on the south facade



Figure 47: 9751 Twenty Road West: Open verandah with plain posts



Figure 48: 9751 Twenty Road West: Outbuilding to the northwest of the house



Figure 49: 9751 Twenty Road West: Remnants of an outbuilding to the northeast of the house

5.2.2.1.2 Interior

5.2.2.1.2.1 First Storey

The main entrance on the west façade opens up into a large room which provides exterior access on the east wall and provides interior access to the basement and former kitchen to the north and hallway to the south (Figure 50 to Figure 52). It has wide arched crown moulding with baseboards smaller than the rest of the house. There is wallpaper and carpet flooring. To the north of the large room is the former kitchen, which has minimal trim and one wall clad in wallpaper (Figure 53 and Figure 54). To the south of the large room is the hallway, clad in wallpaper and carpet with wide baseboards (Figure 55). The hallway contains the staircase leading to the second storey. Decorative trim on the risers of the stairs has been removed and the steps are clad in carpet (Figure 56 and Figure 57).

To the west of the hallway is a bathroom with vinyl flooring and wood panelling (Figure 58). To the south of the hallway is a large room which has wide baseboards and wood trim around windows and doors with no crown moulding (Figure 59 and Figure 60). Another room at the southwest corner of the house is clad in wallpaper and has carpet flooring and a closet (Figure 61).



Figure 50: 9751 Twenty Road West: Main entrance on the west façade and wood door leading to the basement, and kitchen visible to the right



Figure 51: 9751 Twenty Road West: Large room showing east wall exterior entrance and kitchen to the left, and hallway to the south



Figure 52: 9751 Twenty Road West: Large room to the north of the house



Figure 53: 9751 Twenty Road West: Former kitchen located at the northeast corner of the house



Figure 54: 9751 Twenty Road West: Former kitchen facing west



Figure 55: 9751 Twenty Road West: Hallway



Figure 56: 9751 Twenty Road West: Staircase with railing and decorative trim removed



Figure 57: 9751 Twenty Road West: Staircase leading to the second storey

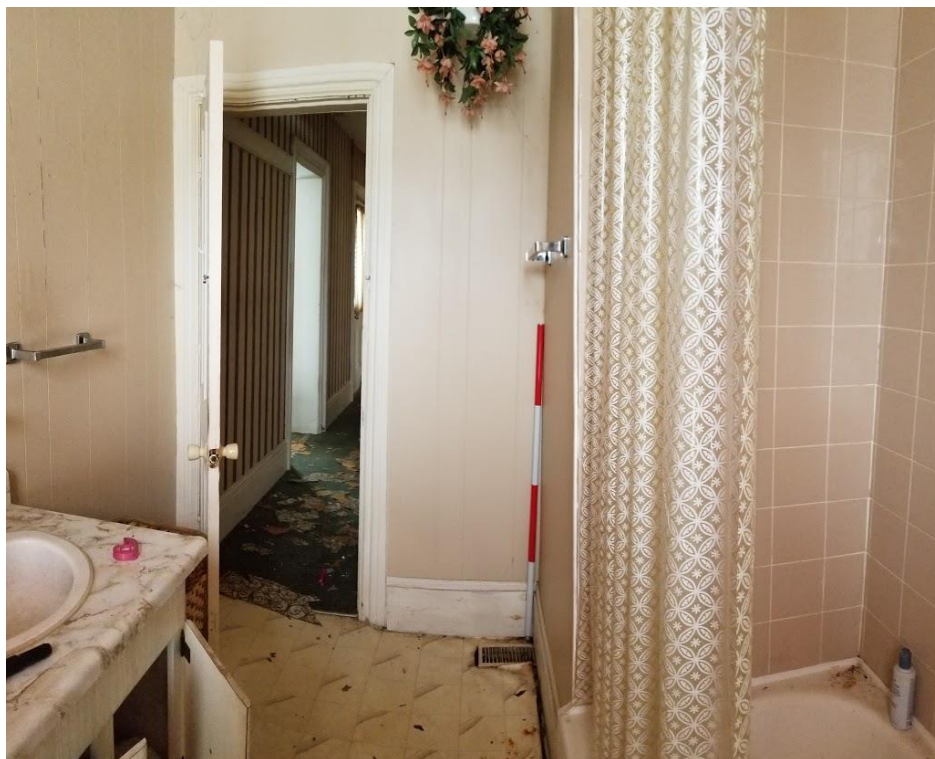


Figure 58: 9751 Twenty Road West: Main floor bathroom to the west of the hallway



Figure 59: 9751 Twenty Road West: Large room at the southeast corner of the house, with main entrance visible to the left



Figure 60: 9751 Twenty Road West: Southeast corner room with access to the hallway to the left



Figure 61: 9751 Twenty Road West: Room with closet at the southwest corner of the house

5.2.2.1.2.2 Second Storey

The staircase opens up into a central hallway which provides access to five rooms. The hallway was once clad in wallpaper which has begun to peel and has carpet flooring (Figure 62 to Figure 65). To the east of the hallway are two rooms: one to the immediate east which has carpet flooring, peeling wallpaper and baseboards (Figure 66 and Figure 67); and another at the southeast corner of the house which also has peeling wallpaper, carpet flooring and baseboards (Figure 68 and Figure 69). There are two other bedrooms to the west of the hallway which also has carpet and peeling wallpaper.

To the north of the central hallway in the cross gable portion of the house is a large room with a closet which has original flooring, wide baseboards, textured ceiling and is partially clad in wallpaper (Figure 70 to Figure 73). The pointed windows at the centre of the cross-gable roof is visible on the east and west walls. A small kitchenette is located along the west wall. The large room provides access to two additional rooms to the north, which similar to the other rooms, has carpet flooring and peeling wallpaper.

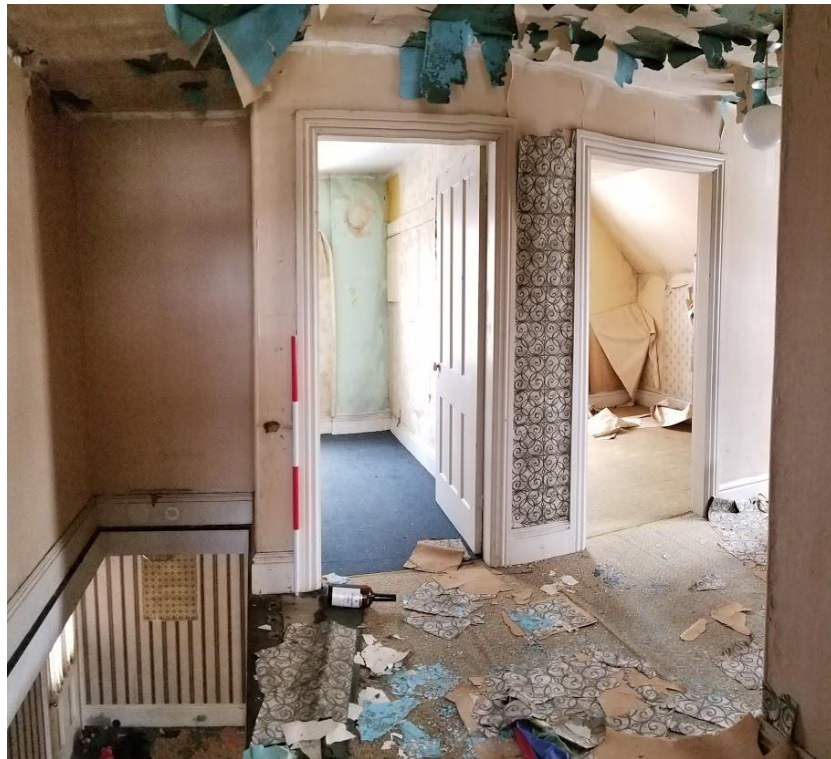


Figure 62: 9751 Twenty Road West: Second storey central hallway



Figure 63: 9751 Twenty Road West: Central hallway



Figure 64: 9751 Twenty Road West: Central hallway facing north



Figure 65: 9751 Twenty Road West: Pointed window in the central hallway



Figure 66: 9751 Twenty Road West: Room to the east of the central hallway



Figure 67: 9751 Twenty Road West: Room to the east of the central hallway

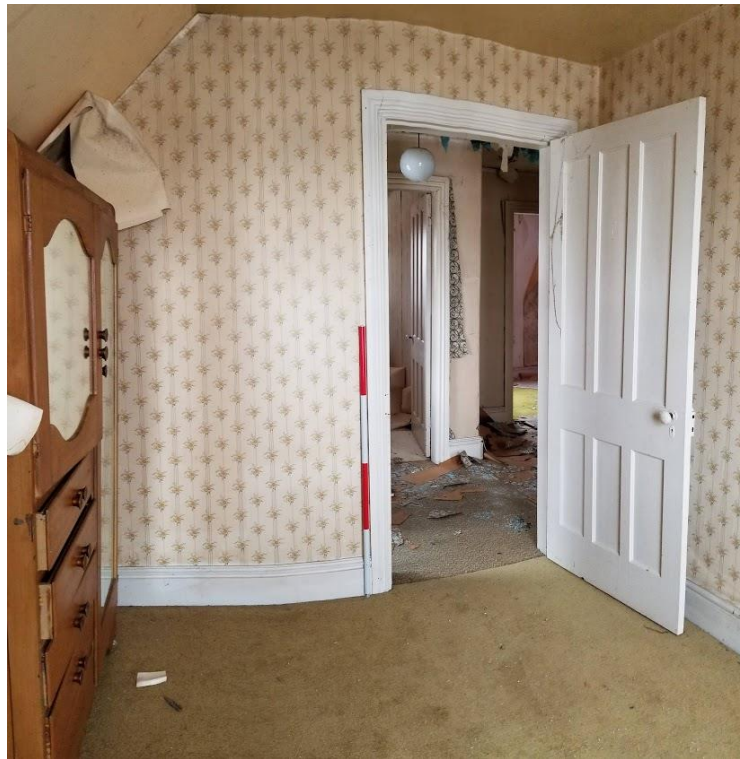


Figure 68: 9751 Twenty Road West: Room at the southeast corner of the house



Figure 69: 9751 Twenty Road West: Southeast room



Figure 70: 9751 Twenty Road West: Large room to the north of the central hallway showing two additional rooms to the north



Figure 71: 9751 Twenty Road West: Large room showing closet to the left and entrance to the central hallway to the right



Figure 72: 9751 Twenty Road West: Large room facing east towards the cross gable



Figure 73: 9751 Twenty Road West: Large room facing west

5.2.2.1.2.3 **Basement**

Wood stairs from the north large room leads to the basement, which is divided into two spaces (Figure 74). The stairs open into a room with the furnace and has stone walls and a dirt floor (Figure 75 and Figure 76). To the south is a large room which also has stone walls and a dirt floor (Figure 77).



Figure 74: 9751 Twenty Road West: Wood stairs leading down to the basement



Figure 75: 9751 Twenty Road West: Basement facing south

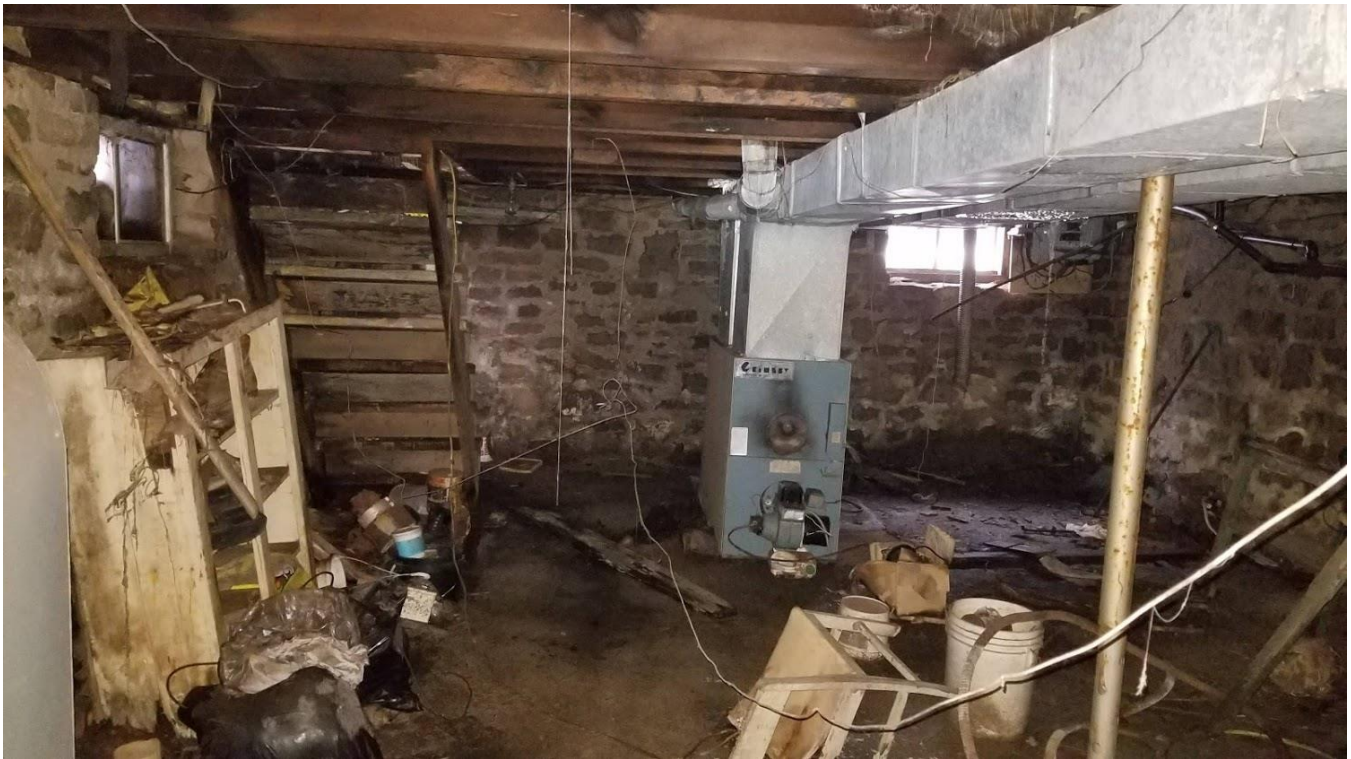


Figure 76: 9751 Twenty Road West: Basement facing north



Figure 77: 9751 Twenty Road West: Large room to the south

5.2.2.1.2.4 9751 Twenty Road West Floor Plan



Figure 78: 9751 Twenty Road West Floor Plan

5.2.2.2 Physical Condition

The condition assessment presented for 9751 Twenty Road West in Table 2 summarizes an extensive checklist developed by Historic England (Watt 2010: 356-361). Please note that these observations are based solely on superficial visual inspection and should not be considered a structural engineering assessment.

Table 2: Physical Condition Assessment

Element	Observed Conditions
General structure	<ul style="list-style-type: none"> Overall, the house is in good condition
Roof	<ul style="list-style-type: none"> The asphalt roof is in fair condition, with some shingles missing
Rainwater disposal	<ul style="list-style-type: none"> One of the downspouts is broken but other downspouts are in good condition
Walls, foundations & chimneys, exterior features	<ul style="list-style-type: none"> Brick is in fair condition Some bricks missing on the north façade and damage caused by a later exterior chimney There are some holes in the interior walls
Windows & doors	<ul style="list-style-type: none"> Wood windows and doors are in good condition
Internal roof structure/ceilings	<ul style="list-style-type: none"> The ceiling has been exposed to increased humidity as evidenced by the peeling wallpaper and panels on the second storey (Figure 79)
Floors	<ul style="list-style-type: none"> The floors appear to be in overall good condition
Stairways, galleries and balconies	<ul style="list-style-type: none"> Stairways are in good condition Second floor balustrade has been removed
Interior decorations/finishes	<ul style="list-style-type: none"> Plasterwork appears to be in fair condition, especially in the second storey rooms (Figure 80)
Fixtures & fittings	<ul style="list-style-type: none"> Lighting is in good condition
Building Services	<ul style="list-style-type: none"> House is vacant and services not in active use
Site & environment	<ul style="list-style-type: none"> Agricultural land surrounding the property Dirt driveway with no garage
General environment	<ul style="list-style-type: none"> Overall stable condition



Figure 79: 9751 Twenty Road West: Peeling ceiling on the second storey

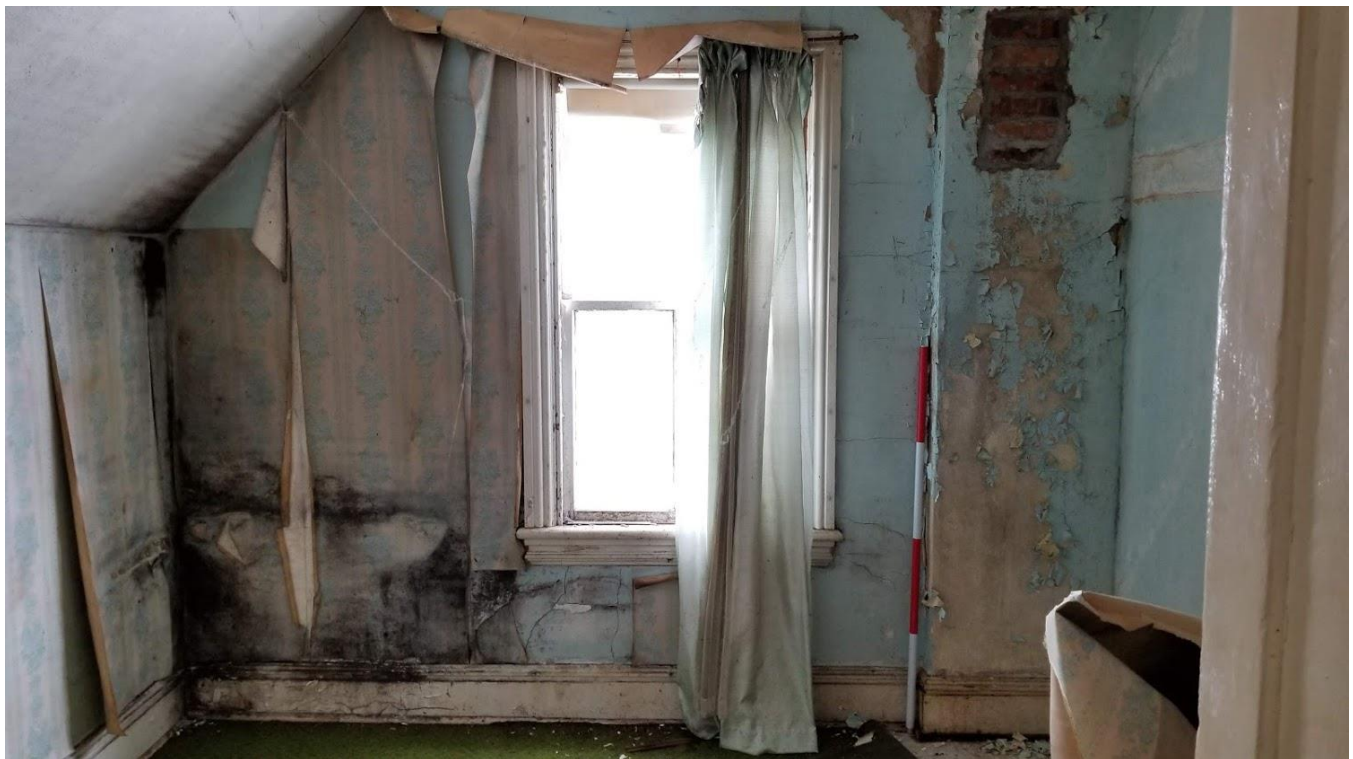


Figure 80: 9751 Twenty Road West: Damaged plasterwork in one of the second storey bedrooms

5.2.2.3 Structural History

Two developmental phases could be identified from the structural evidence and historical research. These represent the initial construction of the building by the Smith family and subsequent residential use of the building (circa 1850 to 2015) and the transition of the house from residential to a vacant structure (2015 to present).

5.2.2.3.1 Phase 1: circa 1850 to 2015

The one-and-a-half storey brick house had been built on the property as early as 1850, when Obedia Smith owned the property. By the 1841 Assessment Roll a framed house under two stories had been constructed on the property. This structure was likely demolished and replaced with the current structure at 9751 Twenty Road West around 1850 when Obedia Smith owned the property, based on the construction and architectural style.

As originally designed, the house followed the mid-19th century 'centre-gable' Gothic Revival style which was popular in Ontario from 1850 to 1900 (Fram 2003:25; Blumenson 1990: 37). While the earliest use of this style has not yet been identified or defined, it could date as early as 1830 and continue as late as 1900, with a high point of popularity between 1850 and 1870 (Blumenson 1990:37; Humphreys and Skyes 1980: 6; Brousseau 1980: 11). Gothic Revival was often rendered in the Gable Front and Wing or Expanded Side Gable form. There are numerous Gothic Revival houses within the City of Hamilton, including in the Glanbrook area at: 9445, 9575 and 9285 Twenty Road West; 2081 Upper James Street (Highway 6); 8270, 9541, 7185-7201, 6299 and 6095 Dickenson Road West; and, 627 Miles Road.

The Smith family resided on the property until at least the 1920s and the structure continued to be used for residential purposes until 2015.

5.2.2.3.2 Phase 2: 2015 to Present

This phase includes the transition of the house from residential to a vacant building. Since it has become vacant, no significant changes have taken place to the surrounding landscape or the house itself.

5.2.2.4 Integrity

In a heritage conservation context, the concept of integrity is linked not with structural condition, but rather to the literal definition of 'wholeness' or 'honesty' of a place. The MHSTCI *Heritage Identification & Evaluation Progress* (2014:13) and *Ontario Heritage Tool Kit: Heritage Property Evaluation* (2006:26) both stress the importance of assessing the heritage integrity and physical condition of a structure in conjunction with evaluation under *O. Reg. 9/06* yet provide no guidelines for how this should be carried out beyond referencing the *US National Park Service Bulletin 8: How to Evaluate the Integrity of a Property* (US NPS n.d.). In this latter document, integrity is defined as 'the ability of a property to convey its significance', so can only be judged once the significance of a place is known.

Other guidance suggests that integrity instead be measured by understanding how much of the asset is 'complete' or changed from its original or 'valued subsequent configuration' (English Heritage 2008:45; Kalman 2014:203). Kalman's *Evaluation of Historic Buildings*, for example, includes a category for 'Integrity' with sub-elements of 'Site', 'Alterations', and 'Condition' to be determined and weighted independently from other criteria such as historical value, rather than linking them to the known significance of a place.

Kalman's approach is selected here and combined with research commissioned by Historic England (The Conservation Studio 2004), which proposed a method for determining levels of change in conservation areas that also has utility for evaluating the integrity of individual structures.

The results of the Heritage Integrity Analysis are presented in Table 3 and are considered when determining the CHVI of the property (Section 6.0).

Table 3: Heritage Integrity Analysis for 9751 Twenty Road West

Element	Original Material/Type	Alteration	Survival (%)	Rating	Comment
Setting	Similar mid to late 19 th century farmhouses surrounded by orchards	New suburban residential development to the immediate north	85	Very Good	Although there has been suburban residential development to the north, the property and its immediate rural setting remains relatively unchanged (i.e. siting, setback, open space)
Site location	Original	No change	100	Very Good	The property retains its original siting and setback
Footprint	L-shaped plan	No additions	100	Very Good	No additions have been constructed since its initial construction
Wall	Red common bond brick	No change	100	Very Good	There does not appear to be any significant alterations to the original brick façade
Foundation	Coursed rubble foundation	No change	100	Very Good	No additional comment
Exterior doors	Wood, single-leaf	South façade entrance appears to be a newer replacement	85	Very Good	No additional comment
Windows	Wood, pointed and segmental arch	Segmental arch windows have been replaced with square headed windows	75	Good	No additional comment
Roof	Medium gable roof with a centre gable and cross gable	No change	100	Very Good	No additional comment
Chimneys	Single brick chimney	Exterior side chimney on the north façade	95	Very Good	The original brick chimney has been retained
Water systems	Metal	All gutters and downspouts have been replaced	0	Poor	No additional comment

Element	Original Material/Type	Alteration	Survival (%)	Rating	Comment
Exterior decoration	Soldier voussoirs	Soldier voussoirs have been painted	95	Very Good	Although some brick has been painted, this is reversible
Porch/exterior additions	East façade wood open porch, no additions	No change	100	Very Good	No additional comment
Interior plan	L-shaped plan	No change	100	Very Good	No additional comment
Interior walls and floors	Plank floors, plaster	Wallpaper, carpet has been added to some rooms	90	Very Good	Much of the original floors and walls remain intact, although covered by wallpaper and carpet
Interior trim	Wood	No change	100	Very Good	Wood trim appears to have been retained
Interior features (e.g. hearth, stairs, doors)	Wood	Stair trim and balustrade has been removed and stairs covered in carpet	50	Fair	No additional comment
Landscape features	Agricultural property	No significant alterations to the surrounding landscape is evident	100	Very Good	Although there is suburban development to the north of the house, the surrounding landscape has largely been retained
AVERAGE RATE OF CHANGE/HERITAGE INTEGRITY			86.8	Very Good	Rating of Very Good is based on the original element survival rating 75 – 100%

5.2.2.4.1 Results

Overall, 9751 Twenty Road West has a high level of integrity since it retains a significant number of original features to a high level of preservation.

5.2.3 9285 Twenty Road West

9285 Twenty Road West includes a single-detached, two storey Gothic Revival style building (Figure 81 to Figure 85). It is described in further detail below.



Figure 81: 9285 Twenty Road West: East façade



Figure 82: 9285 Twenty Road West: East and south façades



Figure 83: 9285 Twenty Road West: South façade



Figure 84: 9285 Twenty Road West: West and north façades



Figure 85: 9285 Twenty Road West: North façade

5.2.3.1 House

5.2.3.1.1 Exterior

The house stands on a coursed rubble stone foundation with water table on all façades and is clad in red stretcher brick with yellow brick quoin detailing at the corners (Figure 86). The yellow brick has also been used for decorative detailing underneath the windows, at the centre of the gable roof, soldier voussoirs and string courses (Figure 87 and Figure 88). It has a medium gable roof clad in metal which has paired wood brackets, projecting eaves, moulded frieze, and plain fascia and soffit (Figure 89). There are three single brick chimneys at the offset rear.

The semi-circular windows are two-over-one and boarded up with plywood. There are also twelve-over-two square headed windows on the east façade and one-over-one square headed windows on the west façade. A bay window on the north façade has yellow brick decorative trim at the base and brackets on the entablature (Figure 90). A small semi-circular window with yellow brick soldier voussoirs and plain lug sill is located at the centre of the gable roof on the north façade, with remnants of one visible in the brickwork on the east façade.

An entrance on the south façade has been boarded up with plywood and has yellow brick soldier voussoirs (Figure 91). On the second storey of the north façade is an entrance semi-circular in shape with a small semi-circular transom and soldier voussoirs (Figure 92). This entrance was accessible through an open porch and ladder. The main entrance is partially covered by the broken steps leading up to the porch on the first storey of the north façade and is covered in plywood (Figure 93). On the east façade is another semi-open porch with plain posts and shed roof which also has plywood cladding.

Remnants of an addition are visible on the south façade which has concrete and plaster parging over the brick and two entrances; one on the second storey with an exposed wood door and another boarded up door which provided access to the basement.



Figure 86: 9285 Twenty Road West: Coursed fieldstone foundation with stretcher brick, quoin detailing and water table



Figure 87: 9285 Twenty Road West: Yellow brick detailing underneath the windows



Figure 88: 9285 Twenty Road West: Yellow brick detailing at the centre of the gable roof



Figure 89: 9285 Twenty Road West: Medium gable roof with paired brackets



Figure 90: 9285 Twenty Road West: Bay window on the north façade



Figure 91: 9285 Twenty Road West: Boarded up entrance on the south façade



Figure 92: 9285 Twenty Road West: Semi-circular second storey entrance on the north façade



Figure 93: 9285 Twenty Road West: Main entrance on the first storey on the north façade

5.2.3.1.2 Interior

5.2.3.1.2.1 First Storey

The main entrance opens into a central hallway which provides access to two large rooms on either side (Figure 94 to Figure 96). The hallway has drop ceiling tiles with wide baseboards and wood flooring. It contains staircases leading to the basement and second storey; the latter was blocked off. The room at the northwest corner of the house has decorative crown moulding, wide baseboards and a bay window (Figure 98 and Figure 99). It contains two large catch basins. At the southwest corner is a room which contains remnants of a brick fireplace (Figure 100). The northeast and southeast room are both clad in plywood, although some wood trim has been retained in the northeast room (Figure 101 to Figure 103).



Figure 94: 9285 Twenty Road West: Central hallway facing south



Figure 95: 9285 Twenty Road West: Staircase in the central hallway providing access to the second storey, which was blocked



Figure 96: 9285 Twenty Road West: Central hallway facing towards the main entrance



Figure 97: 9285 Twenty Road West: Room at the northwest corner of the house



Figure 98: 9285 Twenty Road West: Room at the northwest corner of the house with crown moulding, wide baseboards and decorative trim around doors and windows



Figure 99: 9285 Twenty Road West: Bay window along the north façade wall



Figure 100: 9285 Twenty Road West: Room at the southwest corner of the house



Figure 101: 9285 Twenty Road West: Northeast corner room, clad in plywood

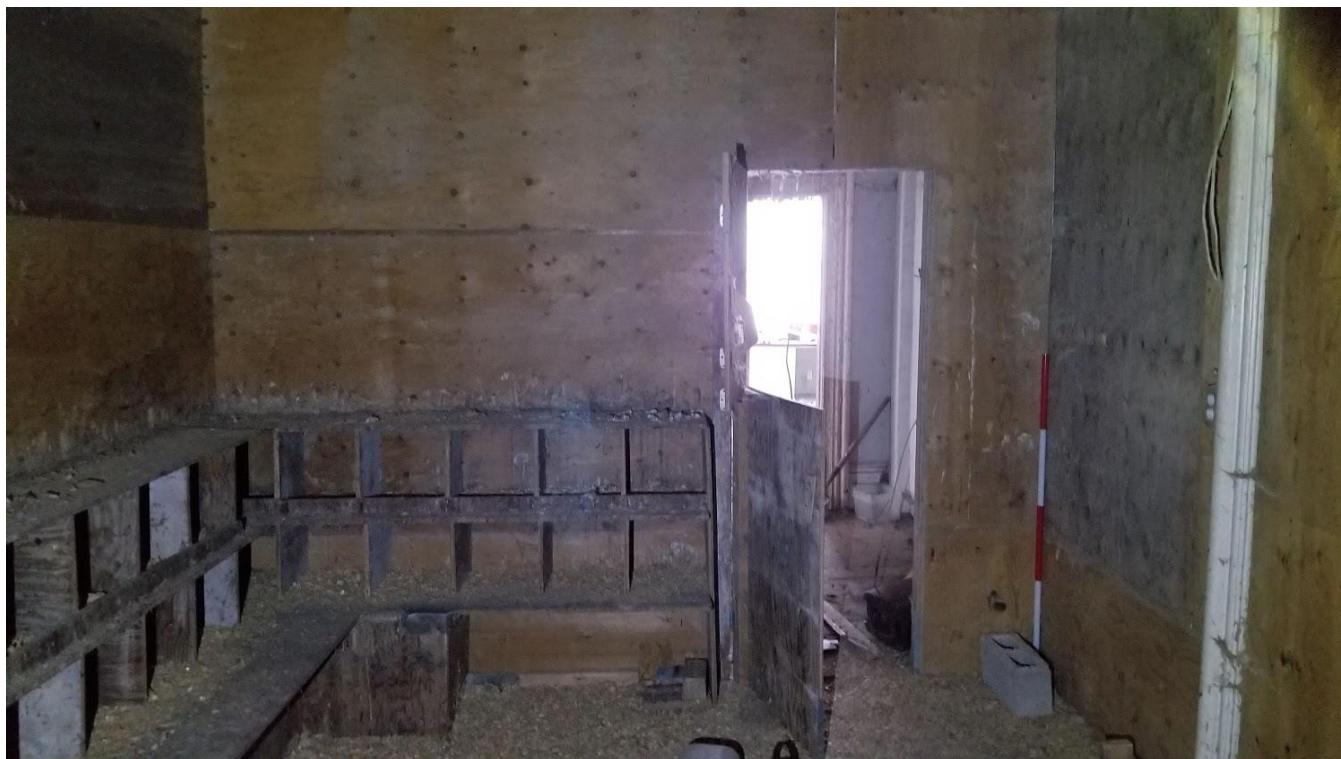


Figure 102: 9285 Twenty Road West: Northeast corner room facing west



Figure 103: 9285 Twenty Road West: Southeast corner room, facing east

5.2.3.1.2.2 *Second Storey*

The second storey is accessible from the exterior porch on the north façade. The main entrance with transom opens up into a hall which provides access to two bedrooms to the east and two bedrooms to the west and a washroom to the south (Figure 104 and Figure 105). It has a half wall clad in wallpaper with painted plaster walls which have begun to peel, and vinyl flooring. There is wood trim around the doorways and baseboards, and the flooring is carpet. All rooms have wood trim around the windows and doors, baseboards, minimal crown moulding and wood floors (Figure 106 to Figure 111). There are decorative wood casings around the windows; although, some of the wood trim has been removed.



Figure 104: 9285 Twenty Road West: Main entrance to the second storey on the north facade



Figure 105: 9285 Twenty Road West: Second storey hallway providing access to a bedroom to the left and a washroom and bedroom to the right



Figure 106: 9285 Twenty Road West: Room at the northwest corner of the house



Figure 107: 9285 Twenty Road West: Room at the southwest corner of the house



Figure 108: 9285 Twenty Road West: Room at the southwest corner of the house facing the hallway



Figure 109: 9285 Twenty Road West: Room at the northeast corner of the house, with window casings



Figure 110: 9285 Twenty Road West: Bedroom at the southeast corner of the house

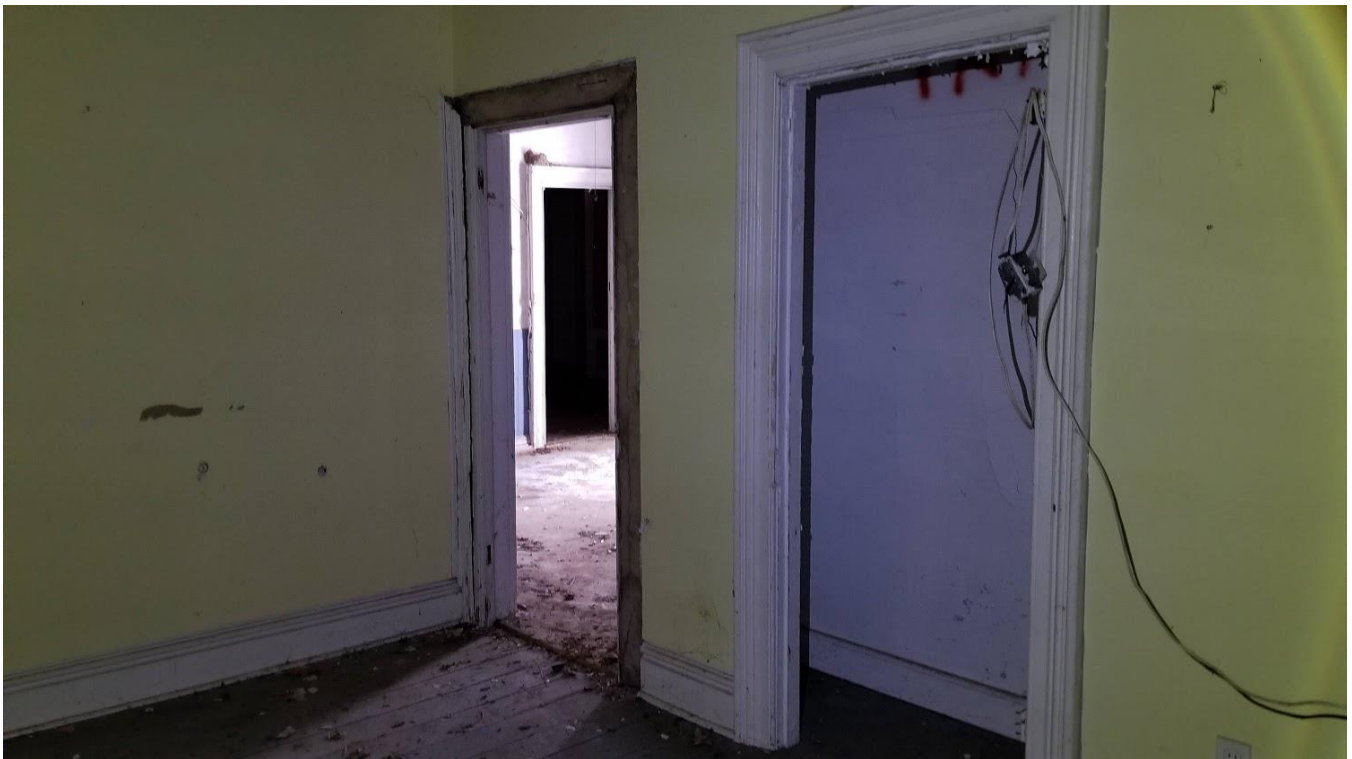


Figure 111: 9285 Twenty Road West: Southeast room facing the hallway

5.2.3.1.2.3 *Basement*

The basement is accessible from the first storey central hallway and an exterior door on the south façade. A set of wood stairs leads to a room with a dirt floor, stone walls, hand hewn beam and exposed joists (Figure 112 and Figure 113). This room is partially divided by timber boards creating a north and south section. The north section provides access to the exterior to the east while the south section has a blinded window and provides access to the large room to the west (Figure 114 to Figure 116). The west room also has a dirt floor and stone walls (Figure 117).



Figure 112: 9285 Twenty Road West: Wood stairs leading to the basement



Figure 113: 9285 Twenty Road West: Room with exposed wood joists, stone walls and hand hewed beam

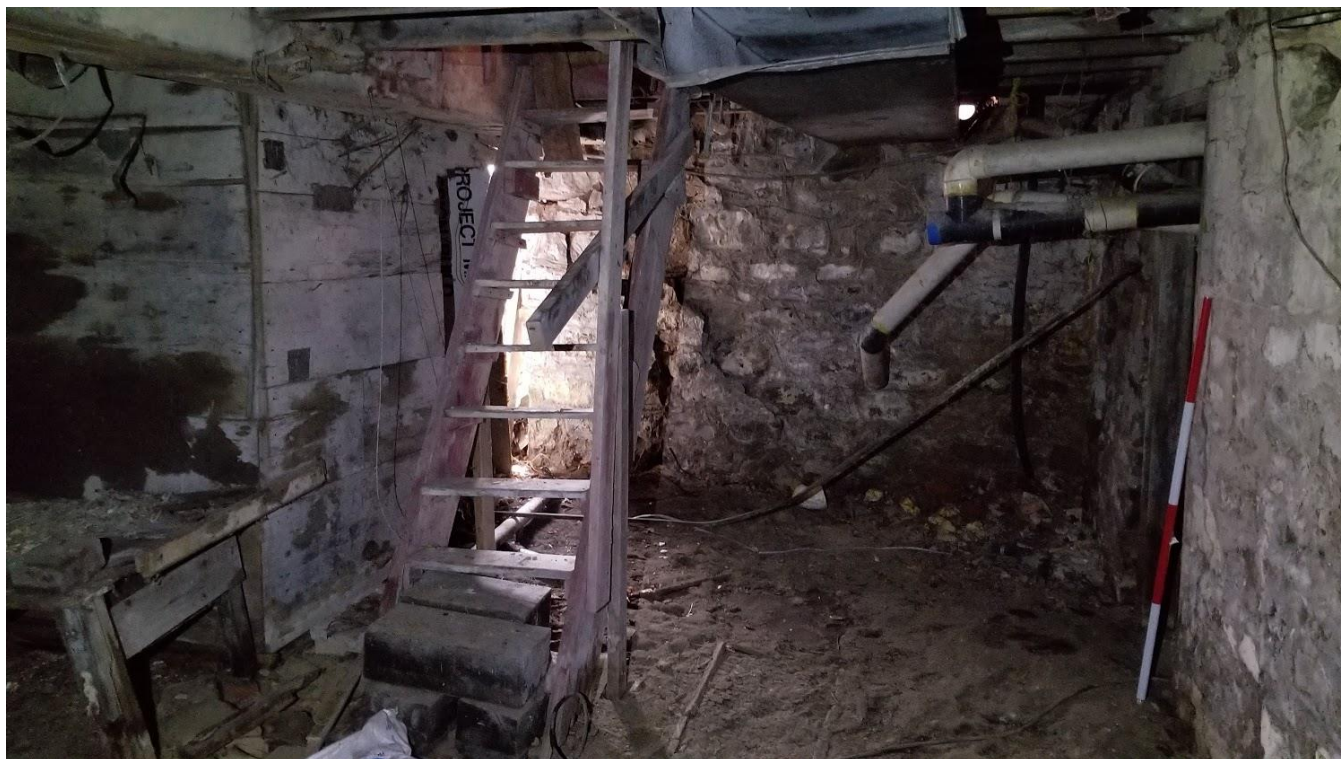


Figure 114: 9285 Twenty Road West: Wood stairs and room providing access to the large room to the west as well as the exterior



Figure 115: 9285 Twenty Road West: basement facing east with timber boards visible to the right



Figure 116: 9285 Twenty Road West: Room to the east with access to the exterior to the left



Figure 117: 9285 Twenty Road West: Large room to the west, facing south

5.2.3.1.2.4 9285 Twenty Road West Floor Plans



Figure 118: 9285 Twenty Road West Floor Plans

5.2.3.2 Physical Condition

The condition assessment presented for 9285 Twenty Road West in Table 4 summarizes an extensive checklist developed by Historic England (Watt 2010: 356-361). Please note that these observations are based solely on superficial visual inspection and should not be considered a structural engineering assessment.

Table 4: Physical Condition Assessment

Element	Observed Conditions
General structure	<ul style="list-style-type: none"> Overall good condition
Roof	<ul style="list-style-type: none"> The metal roof is in good condition
Rainwater disposal	<ul style="list-style-type: none"> Minimal gutters and downspouts evident and are in fair condition
Walls, foundations & chimneys, exterior features	<ul style="list-style-type: none"> Some brick walls have been faced with concrete or plaster parging or painted A portion of the brick bay window is missing (Figure 119) Foundation appears to be in fair condition Fireplace appears to be in fair condition Chimneys are in good condition; there was a chimney on the east façade which has been removed
Windows & doors	<ul style="list-style-type: none"> All wood windows and doors have been boarded up in the interior but appear to be in good condition
Internal roof structure/ceilings	<ul style="list-style-type: none"> Portions of the plaster on the ceiling has fallen exposing the lathe (Figure 120) Some rooms have drop ceilings
Floors	<ul style="list-style-type: none"> Significant water damage due to interior catch basins (Figure 121) Other floors are in fair condition and some have been covered in vinyl tiles
Stairways, galleries and balconies	<ul style="list-style-type: none"> Stairs to the basement appear to be in good condition Exterior stairs to second floor have been removed
Interior decorations/finishes	<ul style="list-style-type: none"> The paint is peeling from all trim Some trim has been removed
Fixtures & fittings	<ul style="list-style-type: none"> No surviving fixtures
Building Services	<ul style="list-style-type: none"> The house is vacant Evidence of water damage and humidity issues
Site & environment	<ul style="list-style-type: none"> Construction sheds and material to the south of the house

Element	Observed Conditions
	■ Mature vegetation to the north of the house and surrounded by remnants of agricultural land
General environment	■ Overall fair condition



Figure 119: 9285 Twenty Road West: Missing brick at the corner of the bay window and evidence of concrete parging



Figure 120: 9285 Twenty Road West: Exposed lathe from fallen plaster



Figure 121: 9285 Twenty Road West: Water damage on the floors

A Building Condition Assessment was conducted by Lanhack Consultants Inc. in July 2020 (APPENDIX B). The assessment identified numerous structural and architectural deficiencies, including water migration and poor condition of exterior load bearing members, unconventional construction of interior load bearing wall, charred roof rafters and roof planks from previous fire damage, severely notched and water damaged floor joists, termite damage to main wood support beam resulting in structural damage and significant deflect, and rubble stone foundation wall has shifted and is structurally unstable. Significant structural reinforcement and modification would be required to meet the requirements of the Ontario Building Code, which would impact its heritage value (i.e., façade). The assessment concluded that remedial measures would not be feasible.

5.2.3.3 Structural History

Three developmental phases could be identified from the structural evidence and historical research. These represent the initial construction (circa 1860 to 2009), the demolition of the south façade side-hall addition and outbuilding (2010 to 2017), and the transition of the house from residential to a vacant structure (2018 to present).

5.2.3.3.1 Phase 1: Circa 1860 – 2009

Based on historical mapping, the architectural style and property ownership history, it is likely that 9285 Twenty Road West was constructed circa 1860 when George Marshall inherited the property from his father, Alexander.

Similar to 9751 Twenty Road West, the house is a mid-19th century Gothic Revival style building. While the earliest use of this style has not yet been identified or defined, it could date as early as 1830 and continue as late as 1900, with a high point of popularity between 1850 and 1870 (Blumenson 1990:37; Humphreys and Skyes 1980:6; Brousseau 1980:11). The most common features include pointed windows, roof trim with curvilinear patterns, hood-moulds with carved label stops, dormers and gables, finials, and bay windows and verandas (Blumenson 1990: 38).

Brousseau (1980) has identified two types – Romantic Gothic Revival and High Victorian Gothic – with the latter incorporating significantly more ornament such as curvilinear vergeboards, bell-cast verandahs with trelliage and segmental or round headed windows. This shift occurred around 1850 and is further characterized by dichromatic brick patterns especially in window and door mouldings and surrounds and various window shapes (Blumenson 1990: 42, 44, 47). 9285 Twenty Road West falls under the High Victorian Gothic style as evidenced through the brackets along the cornice, round-headed windows and dichromatic brick detailing. Gothic Revival was often rendered in the Gable Front and Wing or Expanded Side Gable form. There are numerous Gothic Revival houses within the City of Hamilton, including in the immediate area at: 9445, 9575 and 9751 Twenty Road West; 2081 Upper James Street (Highway 6); 8270, 9541, 7185-7201, 6299 and 6095 Dickenson Road West; and, 627 Miles Road.

A Glanbrook Local Architectural Conservation Advisory Committee (LACAC) document completed in 1984 depicts 9285 Twenty Road West as having a side-hall or gabled ell addition on the south façade (Figure 122). There is physical evidence on the south façade that a portion of the building had been demolished, which has been partially repaired by concrete parging (Figure 123). Based on the architectural style, it is likely that this addition took place shortly after the initial construction of the building.

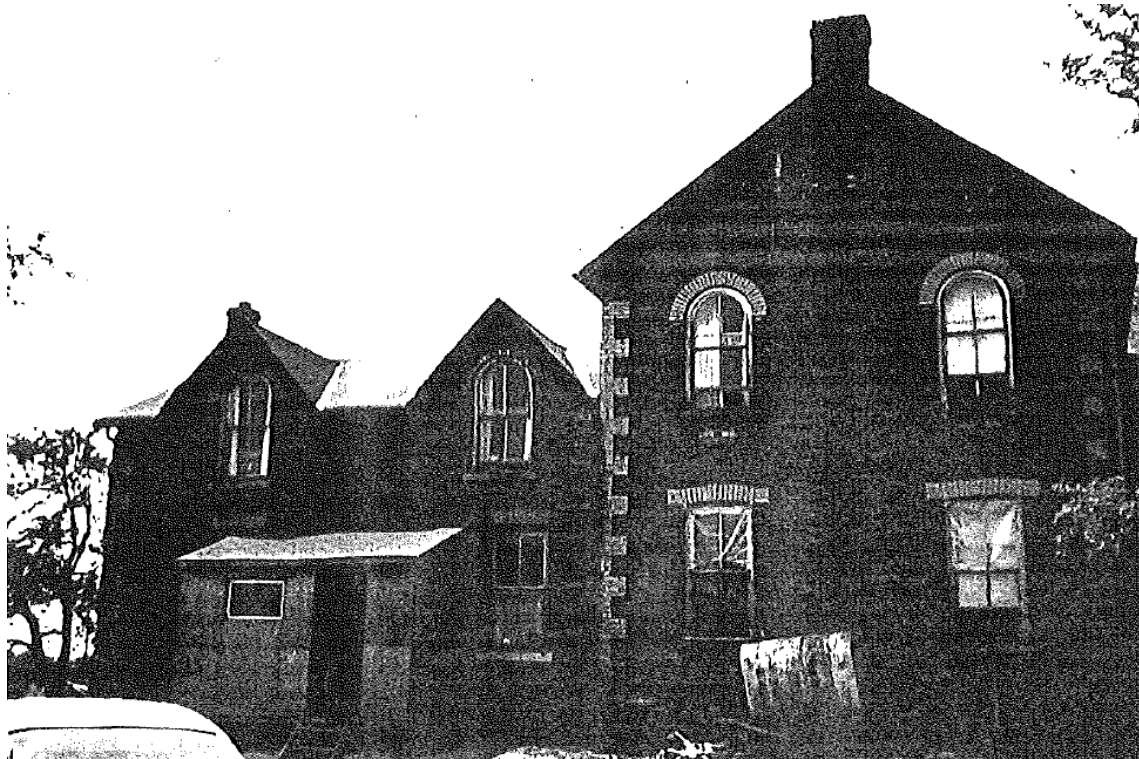


Figure 122: Photo of 9285 Twenty Road West circa 1984 (Source: LACAC 1984)



Figure 123: 9285 Twenty Road West: Concrete parging at the former location of the side-hall or gabled ell portion of the structure

5.2.3.3.2 Phase 2: 2010 to 2017

Based on aerial imagery, this phase represents the demolition of:

- the south façade side hall
- the outbuilding

5.2.3.3.3 Phase 3: 2018 to Present

This phase represents the transition of the house from residential to a vacant building. Since it has become vacant, no significant changes have taken place to the house; however, construction sheds and materials surround the exterior of the house.

5.2.3.4 Integrity

The results of the Heritage Integrity Analysis are presented in Table 5 and are considered when determining the CHVI of the property (Section 6.0).

Table 5: Heritage Integrity Analysis for 9285 Twenty Road West

Element	Original Material/Type	Alteration	Survival (%)	Rating	Comment
Setting	Surrounded by similar late 19 th century farmhouses	New suburban development to the immediate north	85	Very Good	Although there has been significant amount of development to the immediate north of Twenty Road West, the property and its immediate setting remains relatively unchanged (i.e. siting, setback, open space)
Site location	Original	No change	100	Very Good	The property has retained its original siting and setback
Footprint	L-shaped	Addition on the south façade	90	Very Good	The south façade addition has since been removed and the L-shaped plan has been retained
Wall	Red stretcher brick with yellow brick quoins	Concrete parging	85	Very Good	There does not appear to be any significant alterations to the original brick façade beyond some concrete parging repairs
Foundation	Coursed rubble stone	No change	100	Very Good	No additional comment
Exterior doors	Panelled wood doors with transom	Some doors have been boarded up with plywood, main entrance door is a new replacement	50	Fair	No additional comment

Element	Original Material/Type	Alteration	Survival (%)	Rating	Comment
Windows	Two-over-one semi-circular windows, twelve-over-two square headed windows and one-over-one square headed windows, bay window	Some windows have been boarded up with plywood	95	Very Good	No additional comment
Roof	Gable roof with paired wood brackets	Metal cladding	85	Very Good	Although the roof material has been altered, it has kept its original form
Chimneys	Single brick chimney	No change	100	Very Good	No additional comment
Water systems	Metal	No change	100	Very Good	Water systems are minimal but are metal
Exterior decoration	Paired brackets, soldier brick voussoirs, string courses	No change	100	Very Good	All exterior decoration has been retained
Porch/exterior additions	Unknown	East and north façade porches, south façade addition	50	Fair	East and north porches are not original to the house
Interior plan	L-shaped plan	No change	100	Very Good	No additional comment
Interior walls and floors	Wood floors, plaster	Some flooring has been replaced with vinyl	85	Very Good	No additional comment
Interior trim	Crown moulding, wood trim around doors and windows, and baseboards	Most of the wood trim appears to have been retained	75	Good	Some rooms the trim has been altered with more modern replacements or the wood trim has been removed
Interior features (e.g. hearth, stairs, doors)	Wood stairs	Stairs to second storey were inaccessible – unknown.	N/A	N/A	No additional comment
Landscape features	Agricultural property with crop land and	The surrounding landscape has been altered by	75	Good	The immediate area surrounding the house has been altered with construction sheds and materials,

Element	Original Material/Type	Alteration	Survival (%)	Rating	Comment
	mature vegetation	construction sheds and materials			however, remnants of the agricultural land is still present
AVERAGE RATE OF CHANGE/HERITAGE INTEGRITY			86%	Very Good	Rating of Very Good is based on the original element survival rating 75 – 100%

5.2.3.4.1 Results

Overall, 9285 Twenty Road West has a very good level of integrity based on the surviving exterior features.

5.2.4 Adjacent Properties

Following the City's *Infosheet: Cultural Heritage Impact Assessments* (2017), the following section identifies all known or potential (i.e., inventoried) cultural heritage resources potentially affected by the proposed development.

5.2.4.1 9445 Twenty Road West

Adjacent to 9285 Twenty Road West is 9445 Twenty Road West, a single-detached, storey-and-a-half three bay Gothic Revival style vacant building with an L-shaped side hall plan (Figure 124) . In 2018, Golder assessed this property and determined it to have CHVI under *O. Reg 9/06* (Golder 2018). The property's Statement of CHVI and heritage attributes are provided below.

Statement of Cultural Heritage Value or Interest

The farmhouse at 9445 Twenty Road West is of cultural heritage value or interest for its design or physical value, historical or associative value and contextual value. Constructed in 1874 for the Marshall family in the Gothic Revival style, the farmhouse is composed of a one and a half storey gabled L-shaped side hall plan. The medium gable roof and off-set cross gables with curvilinear vergeboard are distinguishing features of the property, along with its mixture of segmental arched and pointed windows. Fenestration has buff brick voussoirs above with bush hammered stone decorated lug sill. The property is directly associated with the Marshall family, as it was once the homestead of Alexander Marshall Jr. who lived in the house, known as 'Rose Hall', from 1874 until his death in 1927. The setting of the property can be characterized as a rural landscape with rolling terrain, which still has remnants of orchards and crops from the property's former use as a farm. A pond to the south of the properties connects to a watercourse running west to east, and forested hedgerows serve as a divider between each property.

Description of Heritage Attributes

Key attributes that reflect the design or physical value of the farmhouse include its:

- Late 19th century side hall plan;
- Gabled roof with curvilinear vergeboard;
- Segmental arch and pointed windows with buff brick voussoirs; and,
- Date stone reading "Alex. Marshall A.D. 1874".



Figure 124: 9445 Twenty Road West (Golder 2018)

5.2.4.2 9322 Dickenson Road West

Adjacent to 9285 Twenty Road West is 9322 Dickenson Road West, a municipally inventoried heritage property. It is assumed the property was inventoried for its two-storey, single detached dwelling and barn remnants, which are now demolished (Figure 125).



Figure 125: 9322 Dickenson Road West (February 2020)

5.2.4.3 9236 Dickenson Road West

Adjacent to 9285 Twenty Road West is 9236 Dickenson Road West, a municipally inventoried heritage property. The property includes a one-and-a-half storey, single detached, wood-framed house with clapboard cladding, identified as being constructed in 1892 (Figure 126). All fenestration is currently boarded with plywood.



Figure 126: 9236 Dickenson Road West (February 2020)

6.0 CULTURAL HERITAGE EVALUATION

From the results of the historical research and field investigations, 555 Glancaster Road, 9751 and 9285 Twenty Road West were evaluated to determine if the properties meet the criteria for CHVI as prescribed in *O. Reg. 9/06*. The results of this evaluation are provided below.

6.1 555 Glancaster Road

Based on the historical research and field investigation, it was determined that the clubhouse and associated outbuilding were constructed circa 1988 and are less than 40 years old. The structures were determined to not meet the criteria as outlined in *O. Reg. 9/06* as a bungalow-style building with no significant features or craftsmanship. The historical or associative associations and contextual value were removed when the Smith family buildings were demolished, and the landscape would have been significantly altered to accommodate use as a golf course. Although the property is included on the City's heritage inventory, no additional information is provided through the City's *Heritage Property Mapping* and no supporting documentation was identified during consultation.

As a result, the property has been determined to not be of CHVI and no further assessment was conducted.

6.2 9751 Twenty Road West

6.2.1 Design or Physical Value

Criteria	Meets Criteria (Yes/No)
<i>(i) Is a rare, unique, representative or early example of a style, type, expression, material or construction method;</i>	Yes
<p>Rationale: The house is an early example of a 'centre gable' Gothic Revival style farmhouse, which was popular in Ontario from 1850 to 1900. 9751 Twenty Road West was determined to date to circa 1850, making it an early example of the style which has a very good level of integrity. It has retained several features of the style, including the centre gable with pointed window.</p>	

Criteria	Meets Criteria (Yes/No)
<i>(ii) Displays a high degree of craftsmanship or artistic merit;</i>	Yes
<p>Rationale: The house displays well-executed masonry construction, evidenced by its moderate level of decorative detailing at the windows and entrances.</p>	

Criteria	Meets Criteria (Yes/No)
<i>(iii) Demonstrates a high degree of technical or scientific achievement.</i>	No
<p>Rationale: No elements of the property demonstrate a high level of technical or scientific achievement. The house is a storey-and-a-half in height and no part of its construction required high technical or scientific expertise.</p>	

6.2.2 Historical or Associative Value

Criteria	Meets Criteria (Yes/No)
<i>(i) Has direct associations with a theme, event, belief, person, activity, organization, or institution that is significant to a community;</i>	Yes
<p>Rationale: Historical research identified that the property at 9751 Twenty Road West has associations with the Smith family. Jacob Smith (Schmidt; 1739-1821), from New Jersey, and his family were some of the first settlers in Glanford Township. Jacob fought on the side of the British during the American Revolution and was subsequently granted 200 acres of land in Canada. His family established a homestead on Lot 4, Concession 1 in Glanford. Jacob was later granted 834 acres and his family an additional 2,446 acres in the Glanford, Ancaster and Saltfleet Townships. The house itself was owned by Jacob's grandson, Lewis.</p>	

Criteria	Meets Criteria (Yes/No)
<i>(ii) Yields, or has the potential to yield information that contributes to an understanding of a community or culture;</i>	Yes
<p>Rationale: The property and adjacent properties have potential to yield information that contributes to an understanding of the early agricultural development of Glanbrook. The architecture of the properties may reflect the affluence of farmers in the community during the mid 19th century.</p>	

Criteria	Meets Criteria (Yes/No)
<i>(iii) Demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community.</i>	No
<p>Rationale: Historical research did not identify that the property reflects the work of a significant or known architect, artist, builder, designer or theorist who is significant to the community.</p>	

6.2.3 Contextual Value

Criteria	Meets Criteria (Yes/No)
<i>(i) Is important in defining, maintaining or supporting the character of an area;</i>	Yes
<p>Rationale: The property is important in maintaining and supporting the rural, agricultural character of the Twenty Road West block through its open fields, relict orchards and dispersed farmsteads set back a distance from the road.</p>	

Criteria	Meets Criteria (Yes/No)
<i>(ii) Is physically, functionally, visually or historically linked to its surroundings;</i>	Yes
Rationale: The farmhouse is not physically, functionally, visually or historically linked to its surrounding.	
<i>(iii) Is a landmark.</i>	No
Rationale: The small scale of the property and its buildings, combined with the setback of the house and surrounding vegetation, make it unlikely to be considered a local landmark.	

6.2.4 Evaluation Results

The preceding evaluation determined that the property has cultural heritage value or interest (CHVI) as it meets all three of the criteria of *O. Reg. 9/06* criteria. Based on this evaluation, a Statement of CHVI is proposed below.

6.2.4.1 Proposed Statement of Cultural Heritage Value or Interest

6.2.4.1.1 Description of Property – 9751 Twenty Road West, City of Hamilton

The farmhouse is located at 9751 Twenty Road West and bound by Glancaster Road to the west, Dickenson Road West to the south, Upper James Street to the east and Twenty Road West to the north. The property is to the west of the Twenty Road West and Silverbirch Boulevard intersection. Originally part of a farm, the house is surrounded by other mid- to late 19th century properties with newer suburban residential development to the north.

6.2.4.1.2 Statement of Cultural Heritage Value or Interest

The farmhouse at 9751 Twenty Road West is of cultural heritage value or interest for its design or physical value, historical or associative value and contextual value. Constructed circa 1850, for the Smith family in the Gothic Revival ‘centre-gable’ style, the farmhouse is composed of a one-and-a-half storey residence with a L-shaped plan. The centre gable roof with cross gables are distinguishing features of the property, along with its mixture of segmental arches and pointed windows with soldier voussoirs. The property is directly associated with the Smith family and was once home of Jacob Smith’s grandson Lewis Smith. The Smith family played a pivotal role in the development of Glanbrook as some of the first settlers in Glanford Township and resided on the property until at least the 1920s.

6.2.4.1.3 Description of Heritage Attributes

Key attributes that reflect the design or physical value of the farmhouse include its:

- one-and-a-half storey, mid-19th century L-shaped plan
- coursed rubble stone foundation
- common bond brick cladding
- centre gable roof with cross gables
- segmental arch and pointed windows with brick voussoirs

6.3 9285 Twenty Road West

6.3.1 Design or Physical Value

Criteria	Meets Criteria (Yes/No)
<i>(i) Is a rare, unique, representative or early example of a style, type, expression, material or construction method;</i>	Yes
<p>Rationale: The house is an early example of a mid-19th century, 'Victorian Gothic' style farmhouse, which was popular in Ontario from 1850 to 1900. 9285 Twenty Road West was constructed circa 1860 and originally had a cross gable addition which was demolished in 2010. It has retained several features characteristic of the style such as the gable roof with paired brackets, semi-circular windows and dichromatic brick detailing.</p>	

Criteria	Meets Criteria (Yes/No)
<i>(ii) Displays a high degree of craftsmanship or artistic merit;</i>	Yes
<p>Rationale: The house displays well-executed masonry construction, evidenced by its high level of dichromatic brick decorative detailing on all façades and windows.</p>	

Criteria	Meets Criteria (Yes/No)
<i>(iii) Demonstrates a high degree of technical or scientific achievement.</i>	No
<p>Rationale: No elements of the property demonstrate a high level of technical or scientific achievement. The house is two-storeys in height and no part of its construction required high technical or scientific expertise.</p>	

6.3.2 Historical or Associative Value

Criteria	Meets Criteria (Yes/No)
<i>(i) Has direct associations with a theme, event, belief, person, activity, organization, or institution that is significant to a community;</i>	Yes
<p>Rationale: Historical research identified that the property at 9285 Twenty Road West has associations with the Marshall family, who played a significant role in the overall development of Glanbrook. Alexander Marshall Sr. opened a lime quarry, which was in operation until the late 1920s. The house itself was owned by the son of Alexander Marshall Sr., George Marshall.</p>	

Criteria	Meets Criteria (Yes/No)
<i>(ii) Yields, or has the potential to yield information that contributes to an understanding of a community or culture;</i>	Yes
Rationale: The property and adjacent properties have potential to yield information that contributes to an understanding of the early agricultural development of Glanbrook. The architecture of the properties may reflect the affluence of farmers in the community during the mid-19 th century.	

Criteria	Meets Criteria (Yes/No)
<i>(iii) Demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community.</i>	No
Rationale: Historical research did not identify that the property reflects the work of a significant or known architect, artist, builder, designer or theorist who is significant to the community.	

6.3.3 Contextual Value

Criteria	Meets Criteria (Yes/No)
<i>(i) Is important in defining, maintaining or supporting the character of an area;</i>	Yes
Rationale: The property is important in maintaining and supporting the rural character of Twenty Road West block through its open fields, relict orchards and dispersed farmsteads set back a distance from the road.	

Criteria	Meets Criteria (Yes/No)
<i>(ii) Is physically, functionally, visually or historically linked to its surroundings;</i>	Yes
Rationale: The farmhouse is visually and historically linked to 9445 and 9511 Twenty Road West as these properties were farmhouses owned by the Marshall family.	

Criteria	Meets Criteria (Yes/No)
<i>(iii) Is a landmark.</i>	No
Rationale: The small scale of the property and the house, combined with the setback of the house and vegetation, make it unlikely to be considered a landmark.	

6.3.4 Evaluation Results

The preceding evaluation determined that the property has cultural heritage value or interest (CHVI) as it meets all three of the criteria of *O. Reg. 9/06* criteria. Based on this evaluation, a Statement of CHVI is proposed below.

6.3.4.1 Proposed Statement of Cultural Heritage Value or Interest

6.3.4.1.1 Description of Property – 9285 Twenty Road West, City of Hamilton

The farmhouse is located at 9285 Twenty Road West and bound by Glancaster Road to the west, Dickenson Road West to the south, Upper James Street to the east and Twenty Road West to the north. The property is to the east of the Twenty Road West and Twenty Place Boulevard intersection. Originally part of a farm, the house is surrounded by other mid to late 19th century properties with newer suburban residential development to the north.

6.3.4.1.2 Statement of Cultural Heritage Value or Interest

The farmhouse at 9285 Twenty Road West is of cultural heritage value or interest for its design or physical value, historical or associative value and contextual value. Constructed circa 1860 for the Marshall family in the 'Victorian Gothic' style, the farmhouse is composed of a two-storey residence with a L-shaped plan. The gable roof with paired brackets, semi-circular windows and dichromatic brick detailing makes the farmhouse a unique example of a mid-19th century farmhouse built in the 'Victorian Gothic' style and one directly associated with the Marshall family. It is visually and historically linked to 9445 and 9511 Twenty Road West as these properties were farmhouses owned by the Marshall family.

6.3.4.1.3 Description of Heritage Attributes

Key attributes that reflect the design or physical value of the farmhouse include its:

- two-storey house with mid-19th century L-shaped plan
- coursed rubble stone foundation
- gable roof with paired brackets
- dichromatic brick quoins, soldier voussoirs, string courses and diamond detailing
- bay window
- semi-circular windows

7.0 IMPACT ASSESSMENT

7.1 Development Description

UWSLG is proposing to demolish all buildings at 555 Glancaster Road, 9751 Twenty Road West and 9285 Twenty Road, subdivide the lots and develop a mixed-use community (APPENDIX C). 555 Glancaster Road is proposed for residential and airport light industrial land uses, and includes two roads bisecting the property, natural open space and lands dedicated for stormwater management. 9751 Twenty Road West is proposed for residential land use and includes natural open space and a road running east-west across the property. 9285 Twenty Road West is proposed for residential and airport light industrial land uses, and includes natural open space and the development of a road.

7.2 Assessment of Adverse Impacts

When determining the effects a development or site alteration may have on known or identified built heritage resources or cultural heritage landscapes, the MHSTCI *Heritage Resources in the Land Use Planning Process* advises that the following direct and indirect adverse impacts be considered:

- Direct impacts
 - *Destruction* of any, or part of any, significant heritage attributes, or features
 - *Alteration* that is not sympathetic or is incompatible, with the historic fabric and appearance
- Indirect Impacts
 - *Shadows* created that alter the appearance of a heritage attribute or change the viability of a natural feature or plantings, such as a garden
 - *Isolation* of a heritage attribute from its surrounding environment, context or a significant relationship
 - *Direct or indirect obstruction* of significant views or vistas within, from, or of built and natural features
 - *A change in land use* such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces

Other potential impacts associated with the undertaking may also be considered. Historic structures, particularly those built in masonry, are susceptible to damage from vibration caused by pavement breakers, plate compactors, utility excavations, and increased heavy vehicle travel in the immediate vicinity. Like any structure, they are also threatened by collisions with heavy machinery or subsidence from utility line failures (Randl 2001:3-6).

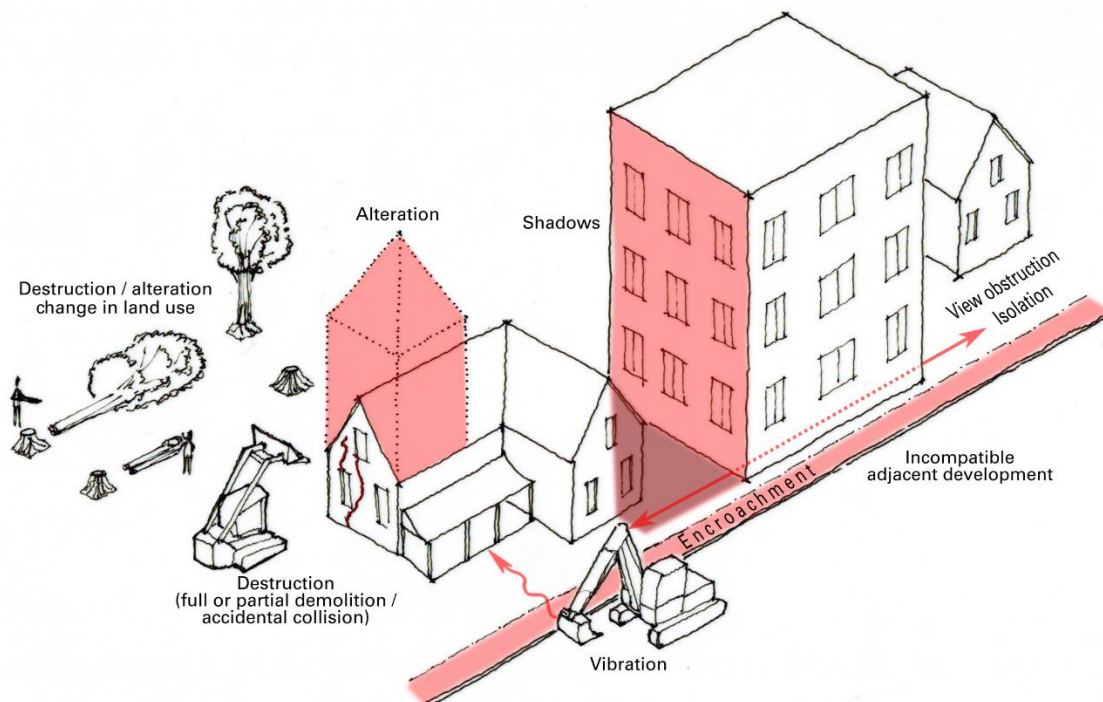


Figure 127: Types of direct and indirect impacts

Although the MHSTCI *Heritage Resources in the Land Use Planning Process* identifies types of impact, it does not advise on how to describe its nature or extent. For this the MHSTCI *Guideline for Preparing the Cultural Heritage Resource Component of Environmental Assessments* (1990:8) provides criteria of:

- Magnitude (amount of physical alteration or destruction that can be expected)
- Severity (the irreversibility or reversibility of an impact)
- Duration (the length of time an adverse impact persists)
- Frequency (the number of times an impact can be expected)
- Range (the spatial distribution, widespread or site specific, of an adverse impact)
- Diversity (the number of different kinds of activities to affect a heritage resource)

Since the MHSTCI *Guideline* guidance, nor any other Canadian source of guidance, does not include advice to describe magnitude, the ranking provided in the UK Highways Agency *Design Manual for Roads and Bridges* [DMRB]: *Volume 11*, HA 208/07 (2007: A6/11) is used here. Despite its title, the DMRB provides a general methodology for measuring the nature and extent of impact to cultural resources in urban and rural contexts and is the only assessment method to be published by a UK government department (Bond & Worthing 2016:167). It also formed the basis for the ICOMOS *Guidance on Heritage Impact Assessments for Cultural World Heritage Properties* (ICOMOS 2011; Bond & Worthing 2016:166-167), and aligns in approach to those the Irish Environmental Protection Agency (reproduced in Kalman 2014:286) and New Zealand Transport Agency (2015).

The DMRB impact assessment ranking is:

- Major
 - Change to key historic building elements, such that the resource is totally altered. Comprehensive changes to the setting.
- Moderate
 - Change to many key historic building elements, such that the resource is significantly modified.
 - Changes to the setting of an historic building, such that it is significantly modified.
- Minor
 - Change to key historic building elements, such that the asset is slightly different.
 - Change to the setting of an historic building, such that it is noticeably changed.
- Negligible
 - Slight changes to historic building elements or setting that hardly affect it.
- No impact
 - No change to fabric or setting.

An assessment of the impacts resulting from the proposed development on 9751 and 9285 Twenty Road West is presented in Table 6.

555 Glanaster Road was determined to not have CHVI and therefore not considered in the impact assessment.

Table 6: Assessment of direct and indirect adverse impacts

Potential direct and indirect adverse impact	Analysis of impact	Summary of impact <i>without</i> mitigation
<i>Destruction of any, or part of any, significant heritage attributes, or features</i>	<p>Under the proposed development, all buildings, including all heritage attributes associated with 9751 and 9285 Twenty Road West will be demolished and removed.</p> <p>This will have a major adverse impact on the CHVI and heritage attributes of both properties.</p>	<p>Major direct impact to the CHVI and all heritage attributes of both properties that is:</p> <ul style="list-style-type: none"> ■ Irreversible ■ Localized ■ Permanent ■ Once

Potential direct and indirect adverse impact	Analysis of impact	Summary of impact <i>without</i> mitigation
<p>Alteration that is not sympathetic or is incompatible, with the historic fabric and appearance</p>	<p>Under the proposed development, all building, including all heritage attributes associated with 9751 and 9285 Twenty Road West will be demolished and removed, and the properties developed for mixed land use (e.g., residential and light airport industrial).</p> <p>This alteration to the land use of 9751 and 9285 Twenty Road West is not sympathetic and incompatible with the rural historic fabric and appearance.</p> <p>This will have a major adverse impact on the CHVI and heritage attributes of both properties.</p>	<p>Major direct impact to the CHVI and heritage attributes of both properties that is:</p> <ul style="list-style-type: none"> ■ Irreversible ■ Localized ■ Permanent ■ Once
<p>Shadows created that alter the appearance of a heritage attribute or change the viability of a natural feature or plantings, such as a garden</p>	<p>Under the proposed development, all buildings, including all heritage attributes associated with 9751 and 9285 Twenty Road West will be demolished and removed. This will have a major adverse impact to the CHVI and heritage attributes of both properties.</p> <p>Although shadows from the proposed development are unknown at this time, with the removal of all heritage attributes, there will be no impacts from shadows to the CHVI and heritage attributes of either properties.</p> <p>Additionally, given that the built resource of adjacent properties at 9445 Twenty Road West and 9236 Dickenson Road West are more than 60 m from the proposed development, no shadow impacts are anticipated</p>	<ul style="list-style-type: none"> ■ No impact
<p>Isolation of a heritage attribute from its surrounding environment, context or a significant relationship</p>	<p>Under the proposed development, all buildings, including all heritage attributes associated with 9751 and 9285 Twenty Road West will be demolished and removed, and the properties developed for mixed land use (e.g., residential and light airport industrial). This will result in the isolation of 9285 Twenty Road West from the 19th century farmhouses at 9445 and 9511 Twenty Road West.</p> <p>This will have a minor indirect impact on the CHVI of 9285 Twenty Road West</p>	<ul style="list-style-type: none"> ■ Minor indirect impact to the CHVI of both properties: ■ Irreversible ■ Localized ■ Permanent ■ Once

Potential direct and indirect adverse impact	Analysis of impact	Summary of impact without mitigation
<p>Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features</p>	<p>Under the proposed development, all buildings, including all heritage attributes associated with 9751 and 9285 Twenty Road West will be removed, and the properties developed for mixed land use (e.g., residential and light airport industrial). This will result in the indirect impact to the visual link between 9285 Twenty Road West and the 19th century farmhouses at 9445 and 9511 Twenty Road West.</p> <p>This will have a minor indirect impact on the CHVI of 9285 Twenty Road West.</p>	<ul style="list-style-type: none"> ■ Minor indirect impact to the CHVI of both properties: ■ Irreversible ■ Localized ■ Permanent ■ Once
<p>A change in land use such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces</p>	<p>Under the proposed development, the land use of 9751 and 9285 Twenty Road West will change from A2: Rural to residential and airport light industrial.</p> <p>This will have a major adverse impact on the CHVI and heritage attributes of both properties.</p>	<p>Major direct impact that is:</p> <ul style="list-style-type: none"> ■ Irreversible ■ Localized ■ Permanent ■ Once
<p>Land disturbances such as a change in grade that alters soils, and drainage patterns that may affect a cultural heritage resource.</p>	<p>Under the proposed development, all buildings, including all heritage attributes associated with 9751 and 9285 Twenty Road West will be removed. Therefore, there are no impacts to the CHVI or heritage attributes of the property resulting from land disturbances.</p> <p>Additionally, if standard drainage and road construction designs are implemented, any land disturbances are unlikely to impact adjacent heritage properties. However, vibration impacts from construction and traffic may impact heritage attributes.</p>	<ul style="list-style-type: none"> ■ No impact

7.2.1 Results of Impact Assessment

The preceding assessment has determined that without conservation or mitigation measures, the proposed demolition of the properties at 9751 and 9285 Twenty Road West:

- will result in major direct and indirect impacts to the heritage attributes of 9751 and 9285 Twenty Road West that are irreversible, widespread, and permanent
- will not result in any direct or indirect impacts to the CHVI and heritage attributes of 9445 Twenty Road West
- will not result in any direct or indirect impacts to the adjacent municipally inventoried heritage properties at 9322 Dickenson Road West and 9236 Dickenson Road West

8.0 CONSIDERATION OF ALTERNATIVES

There is no single, correct way to mitigate the impacts of new construction on historic structures. Best practice for heritage conservation generally attempts minimal intervention, that is, maintain the building in as close to the condition it was encountered. In reality, however, economic and/or technical site considerations may require an alternate method to conserve the cultural heritage value of the structures or properties.

Based on the evaluation that the farmhouses at 9751 and 9285 Twenty Road West are of CHVI, Golder has identified four conservation options:

- 1) preserve and maintain as-is: retain the buildings located at 9751 and 9285 Twenty Road West unaltered
- 2) incorporate the buildings into proposed development and rehabilitate for compatible uses
- 3) relocate and rehabilitate for new compatible uses
- 4) preserve by record and commemorate: document the buildings through written notes, measured drawings and photographic records, then demolish. The buildings may then be commemorated through interpretive signage or displays.

An options analysis for each mitigation option is provided in the subsections below.

8.1 9751 Twenty Road West

8.1.1 Option 1: Preserve and Maintain As-is

This option involves retaining the building at 9751 Twenty Road West unaltered and not proceeding with the proposed development.

Advantages: This is generally the most preferred of conservation options since – through minimal intervention – it has the highest potential for retaining all heritage attributes of the property, as well as its setting and context.

Disadvantages: Preservation is not a ‘do nothing’ approach: to ensure the building does not suffer from rapid deterioration, repairs must be carried out and a systematic monitoring and repair program will be required for both exteriors and interiors. While minimal intervention is the most preferred approach, in this case it may prove detrimental to the long-term sustainability of the house as it is currently vacant without an active use.

Feasibility: This option was determined to not be feasible due to:

- difficulty for long term sustainability
- the lack of an active use for the structure
- the structure was found to be of CHVI

8.1.2 Option 2: Incorporate into development and rehabilitate for new compatible uses

This option involves incorporating the building into new construction and rehabilitating it for a new compatible use.

Advantages: This option would ensure 9751 Twenty Road West is retained in its entirety, with the highest potential of retaining all heritage attributes. As defined in Canada’s Historic Places *Standards and Guidelines*, rehabilitation and re-use can ‘revitalize’ a historic place. Not only are structures repaired and restored when

adapted for new uses, they are regularly maintained and protected and heritage attributes understood, recognized and celebrated. Rehabilitation projects are more cost-effective, socially beneficial and environmentally sustainable than new builds, even if they require more specialized planning and trades to undertake. This option would also respect the original location of the building as identified by MHSTCI (2007) which suggests that relocation should only be considered if there are no other means to save the building.

Disadvantages: In addition to the expense required to draft a conservation plan, then stabilize and rehabilitate the building, there would be a substantial loss of potential revenue to develop the property. A reduced lot may make adaptive reuse more challenging, and would need to consider the impacts of shadow, differences in scale, orientation and setback and architectural compatibility.

Feasibility: This option was determined to be feasible due to:

- it balances new development with retention and appreciation of heritage
- the property was determined to have CHVI and a Very Good level of heritage integrity
- ensures an active use for the building

8.1.3 Option 3: Relocate and rehabilitate for new compatible uses

This option would retain the building at 9751 Twenty Road West in its current form and reinstate it to a surrounding that gives it prominence and offers long-term protection.

Advantages: This option would retain the building in its entirety and ensure its long-term protection. As outlined in Canada's Historic Places *Standards and Guidelines*, rehabilitation and re-use can 'revitalize' a historic place. Rehabilitation projects are generally more cost-effective, socially beneficial and environmentally sustainable than new builds, even through they may require more specialized planning and trades to undertake. The building was determined to be in good physical condition with a Very Good level of heritage integrity.

Disadvantages: Planning and execution of this option would entail high costs in time and resources as it would require drafting a conservation plan, extensive stabilization of the building to ensure it would not be critically damaged during lifting and moving. The relocation effort could require temporarily removing hydro lines and arranging a police escort, and once moved to the new location an extensive program of rehabilitation, including adding a new concrete foundation, would be necessary. It is also not certain if the building could be moved intact; if dismantling is necessary, the heritage integrity would be further reduced. Additionally, moving the house would cause it to lose its original foundation and basement.

Feasibility: This option was determined to be feasible due to:

- the property was determined to be have CHVI and a Very Good level of heritage integrity
- overall good physical condition of the building
- ensures an active use for the building

8.1.4 Option 4: Preserve by record and commemorate

Under this option, the structure at 9751 Twenty Road West would be documented through photographs, measured drawings and written notes prior to demolition. The property's history would then be commemorated.

Advantages: Preservation by record is the least desirable conservation option but may be appropriate in cases where the structural integrity of a building is poor, and it is prohibitively expensive or technically difficult to stabilize. It may also be an option when there is a large stock of other surviving, or more representative examples. This is not the case with this structure as it is in overall stable condition. Through detailed investigations, the construction, architecture and history of the building at 9751 Twenty Road West would be better understood and become an example for comparative study. Its importance to the community would survive as documentary records accessible to the public through the local library or other public repository, and through commemorative signage or digital exhibits.

Disadvantages: Demolition would result in a tangible unique element of the City's architectural heritage to be lost, and result in further attrition of the City and Ontario's stock of historic sites. The process to obtain a demolition permit can also carry a risk of public resistance from private, local, provincial or national heritage stakeholders, and censure from municipal government.

Feasibility: This option was determined to not be feasible due to:

- The CHVI of 9751 Twenty Road West
- The overall good physical condition and Very Good heritage integrity of the structure

8.1.5 Results of Mitigation Options Analysis

The preceding options analysis has determined that the most feasible options with the least adverse impact to the property's cultural heritage value or interest and heritage attributes are:

- Option 2: Incorporate into development and rehabilitate for new compatible uses
- Option 3: Relocate and rehabilitate for new compatible uses

These options will:

- sustainably conserve a tangible example of the City's significant architectural heritage on its original site
- retain the building within its geographic and historical setting

8.2 9285 Twenty Road West

8.2.1 Option 1: Preserve and Maintain As-is

This option involves retaining the building at 9285 Twenty Road West unaltered and not proceeding with the proposed development.

Advantages: This is generally the most preferred of conservation options since – through minimal intervention – it has the highest potential for retaining all heritage attributes of the property, as well as its setting and context.

Disadvantages: Preservation is not a 'do nothing' approach: to ensure the building does not suffer from rapid deterioration, repairs must be carried out and a systematic monitoring and repair program will be required for both exteriors and interiors. While minimal intervention is the most preferred approach, in this case it may prove detrimental to the long-term sustainability of the house as it is currently vacant without an active use.

Feasibility: This option was determined to not be feasible due to:

- several structural and architectural deficiencies with the building's exterior brick masonry bearing walls and interior load bearing wall per the Building Condition Assessment
- high expense to stabilize, preserve, and maintain the property's structure, which is has significant structural and architectural deficiencies

8.2.2 Option 2: Incorporate into development and rehabilitate for new compatible uses

This option involves incorporating the building into new construction and rehabilitating it for a new compatible use.

Advantages: This option would ensure 9285 Twenty Road West is retained in its entirety, with the highest potential of retaining all heritage attributes. As defined in Canada's Historic Places *Standards and Guidelines*, rehabilitation and re-use can 'revitalize' a historic place. Not only are structures repaired and restored when adapted for new uses, they are regularly maintained and protected and heritage attributes understood, recognized and celebrated. Rehabilitation projects are more cost-effective, socially beneficial and environmentally sustainable than new builds, even if they require more specialized planning and trades to undertake. This option would also respect the original location of the building as identified by MHSTCI (2007) which suggests that relocation should only be considered if there are no other means to save the structure.

Disadvantages: In addition to the expense required to draft a conservation plan, then stabilize and rehabilitate the building, there would be a substantial loss of potential revenue to develop the property. A reduced lot may make adaptive reuse more challenging, and would need to consider the impacts of shadow, differences in scale, orientation and setback and architectural compatibility.

Feasibility: This option was determined to not be feasible due to:

- several structural and architectural deficiencies with the building's exterior brick masonry bearing walls and interior load bearing wall per the Building Condition Assessment
- high expense to stabilize, preserve, and maintain the property's structure, which is has significant structural and architectural deficiencies

8.2.3 Option 3: Relocate and rehabilitate for new compatible uses

This option would retain the building at 9285 Twenty Road West in its current form and reinstate it to a surrounding that gives it prominence and offers long-term protection.

Advantages: This option would retain the building in its entirety and ensure its long-term protection. As outlined in Canada's Historic Places *Standards and Guidelines*, rehabilitation and re-use can 'revitalize' a historic place. Rehabilitation projects are generally more cost-effective, socially beneficial and environmentally sustainable than new builds, even through they may require more specialized planning and trades to undertake. The building was determined to be in good physical condition with a Very Good level of heritage integrity.

Disadvantages: Planning and execution of this option would entail high costs in time and resources as it would require drafting a conservation plan, extensive stabilization of the building to ensure it would not be critically damaged during lifting and moving. The relocation effort could require temporarily removing hydro lines and arranging a police escort, and once moved to the new location an extensive program of rehabilitation, including adding a new concrete foundation, would be necessary. It is also not certain if the building could be moved intact;

if dismantling is necessary, the heritage integrity would be further reduced. Additionally, moving the house would cause it to lose its original foundation and basement.

Feasibility: This option was determined to not be feasible due to:

- several structural and architectural deficiencies with the building's exterior brick masonry bearing walls and interior load bearing wall per the Building Condition Assessment limiting its ability to be relocated
- high expense to stabilize, preserve, and maintain the property's structure, which is has significant structural and architectural deficiencies

8.2.4 Option 4: Preserve by record and commemorate

Under this option, the structure at 9285 Twenty Road West would be documented through photographs, measured drawings and written notes prior to demolition. The property's history would then be commemorated.

Advantages: Preservation by record is the least desirable conservation option but may be appropriate in cases where the structural integrity of a building is poor, and it is prohibitively expensive or technically difficult to stabilize. It may also be an option when there is a large stock of other surviving, or more representative examples. This is the case with this structure as it is in overall poor structural condition with significant structural and architectural deficiencies. Through detailed investigations, the construction, architecture and history of the building at 9285 Twenty Road West would be better understood and become an example for comparative study. Its importance to the community would survive as documentary records accessible to the public through the local library or other public repository, and through commemorative signage or digital exhibits.

Disadvantages: Demolition would result in a tangible unique element of the City's architectural heritage to be lost, and result in further attrition of the City and Ontario's stock of historic sites. The process to obtain a demolition permit can also carry a risk of public resistance from private, local, provincial or national heritage stakeholders, and censure from municipal government.

Feasibility: This option was determined to be feasible due to:

- the CHVI of 9285 Twenty Road West
- the overall poor structural integrity of the building
- high expense to stabilize, preserve, and maintain the property's structure, which is has significant structural and architectural deficiencies

8.2.5 Results of Mitigation Options Analysis

Although the property at 9285 Twenty Road West was determined to have CHVI based on Golder's analysis and the 'Building Condition Assessment', the only option is to:

- Option 4: Preserve by record and commemorate
 - document the structure through writing notes, measures drawings and photographic records, then demolish, and,
 - install an interpretive panel on the property to commemorate the property's CHVI

This option will:

- ensure the property's importance to the heritage of the community would survive as documentary records accessible to the public

9.0 SUMMARY STATEMENT & RECOMMENDATIONS

In January 2020, Golder was retained by UWSLG c/o CLS to conduct a CHIA for the municipally inventoried heritage properties at 555 Glancaster Road, 9751 Twenty Road West and 9285 Twenty Road West as part of the Upper West Side Plan of Subdivision, a block area bound by Twenty Road West to the north, Dickenson Road to the south Upper James Street to the east, and Glancaster Road to the West in City of Hamilton, Ontario. The subject properties includes a former golf course, clubhouse, and outbuilding at 555 Glancaster Road, a one-and-a-half-storey brick dwelling and outbuildings at 9751 Twenty Road West and a two-and-a-half storey brick dwelling at 9285 Twenty Road West. The subject properties are adjacent to municipally inventoried heritage properties at 9445 Twenty Road West, 9322 Dickenson Road West and 9236 Dickenson Road West.

UWSLG intends to demolish the existing buildings at 555 Glancaster Road, 9751 Twenty Road West and 9285 Twenty Road West and subdivide the lots for residential land use. Main roads are proposed bisecting the three properties and connecting Twenty Road West, Upper James Street, Dickenson Road West and Glancaster Road. Since the three properties within the Plan of Subdivision are inventoried in the *Hamilton's Heritage Volumes*, a CHIA is required as a condition of site plan approval.

Golder was previously retained in February 2018 by CLS to conduct a Cultural Heritage Impact Assessment (CHIA) for the municipally inventoried properties at 9511 Twenty Road West and 9445 Twenty Road West as part of the Upper West Side Plan of Subdivision (Golder 2018). The CHIA determined both properties to have CHVI for its design or physical value, historical or associative value, and contextual value (Golder 2018). Golder was also retained by CLS in September 2019 to conduct a Cultural Heritage Screening Report (CHSR) as part of the Upper West Side Plan of Subdivision (Golder 2019) to identify known and potential built heritage resources and cultural heritage landscapes. This study identified 17 municipally inventoried heritage properties and 9 potential cultural heritage properties.

Following guidance provided by the MHSTCI, the City of Hamilton's *Urban Hamilton Official Plan (2015)* and *Infosheet: Cultural Heritage Impact Assessments (2017)*, and Canada's *Historic Places Standards and Guidelines for the Conservation of Historic Places in Canada (2010)*, this CHIA identifies the heritage policies applicable to new development, summarizes the properties' geography and history, and provides an inventory and evaluation of each property's built and landscape features. Based on this understanding of the properties, potential adverse impacts resulting from the proposed development are assessed, and future conservation actions recommended.

Cultural heritage evaluation conducted for this CHIA of 555 Glancaster Road, 9751 Twenty Road West, and 9285 Twenty Road West concluded that:

- 555 Glancaster Road does not have CHVI
 - the built resource(s) associated with the property's listing have been demolished
 - the property is a golf course established circa 1988
- 9751 Twenty Road West has CHVI for its mid-19th century brick farmhouse built to a high degree of craftsmanship in the Gothic Revival style, for its association with the pioneering and locally prominent Smith family, and for its contextual value
- 9285 Twenty Road West has CHVI for its mid-19th century brick farmhouse built to a high degree of craftsmanship in the Gothic Revival style, its association with the pioneering and locally prominent Marshall family, and for its contextual value

Golder's impact assessment concluded that the proposed development:

- will directly and indirectly impact the CHVI and heritage attributes of 9751 and 9285 Twenty Road West
- will not result in any direct or indirect impacts to the CHVI and heritage attributes of 9445 Twenty Road West
- will not result in any direct or indirect impacts to the adjacent municipally inventoried heritage properties at 9322 Dickenson Road West and 9236 Dickenson Road West

After rigorous options analysis, Golder's options analysis determined that the alternatives with the least adverse impact to the property's cultural heritage value or interest and heritage attributes are:

- **9751 Twenty Road West**
 - Option 2: Incorporate into development and rehabilitate for new compatible uses, and,
 - Option 3: Relocate and rehabilitate for new compatible uses
- **9285 Twenty Road West**
 - Option 4: Preserve by record and commemorate

To pursue the above options, Golder recommends that UWSLG undertake the following actions:

- **9751 Twenty Road West**
 - Option 2: Incorporate into development and rehabilitate for new compatible uses
 - design the site plan to avoid the built heritage resource and incorporate it into the new development.
 - incorporate the built heritage resource on a reduced lot size that allows for adjacent development yet gives the building visual prominence and is sufficient for future expansion through additions or an outbuilding.
 - rehabilitate the built heritage resource for a compatible new use.
 - prepare a Heritage Conservation Plan to guide the rehabilitation and to ensure the CHVI and heritage attributes of the built heritage resource are conserved.
 - monitor for vibration impact during all adjacent construction within a 60 m radius around the built heritage resource
 - Continuous ground vibration monitoring should be carried out near the foundations of the house using a digital seismograph capable of measuring and recording ground vibration intensities in digital format in each of three (3) orthogonal directions. The instrument should also be equipped with a wireless cellular modem for remote access and transmission of data.
 - The installed instrument should be programmed to record continuously, providing peak ground vibration levels at a specified time interval (e.g. 5 minutes) as well as waveform signatures of any ground vibrations exceeding a threshold level that would be determined during monitoring. The instrument should also be programmed to provide a warning should the peak ground vibration level exceed the guideline limits specified. In the event of either a threshold trigger or exceedance warning, data would be retrieved remotely and forwarded to designated recipients.

- Option 3: Relocate and rehabilitate for new compatible uses
 - relocate to a lot on the property of sufficient size to ensure its long-term sustainability and conservation as a valued built heritage resource, and to rehabilitate it for a new compatible use (i.e., commercial, residential, public education or recreational).
 - prepare a Heritage Conservation Plan detailing the conservation treatment (i.e. preservation, rehabilitation, or restoration), the required actions and trades depending on treatment, and an implementation schedule to conserve building prior to, during, and after the relocation effort.
 - monitor for vibration impact during all adjacent construction within a 60 m radius around the built heritage resource prior to and after the relocation
 - Continuous ground vibration monitoring should be carried out near the foundations of the house using a digital seismograph capable of measuring and recording ground vibration intensities in digital format in each of three (3) orthogonal directions. The instrument should also be equipped with a wireless cellular modem for remote access and transmission of data.
 - The installed instrument should be programmed to record continuously, providing peak ground vibration levels at a specified time interval (e.g. 5 minutes) as well as waveform signatures of any ground vibrations exceeding a threshold level that would be determined during monitoring. The instrument should also be programmed to provide a warning should the peak ground vibration level exceed the guideline limits specified. In the event of either a threshold trigger or exceedance warning, data would be retrieved remotely and forwarded to designated recipients.
- **9285 Twenty Road West**
 - develop a strategy to interpret and commemorate the property's CHVI within the proposed development. This strategy may recommend static displays and the salvage and re-use of the building material (i.e., bricks)
 - demolish the built heritage resources
 - Golder considers the research, description, photographic documentation, and floor plans included in this CHIA as sufficient 'preservation by record' for the property and recommends that the City not require a subsequent Documentation and Salvage Report.

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Signature Page

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APPENDIX A

LACAC Inventory Sheets

HOUSE: Conc. 2, Lot 2.

Present Owner: Jerry Sullivan
9751 Twenty Rd.
Mt. Hope
679-4397

Crown Patentee: Jacob Smith in 1836

First Settler: Jacob Smith in 1836

Date of Construction: 1850's

Owner at the time: Obedia Smith

Foundation:

- full basement with stone walls
- dirt floor

Structure:

- one and a half storey, single house
- exterior walls are two bricks thick
- lath and plaster on the inside
- the ceilings are all plaster
- has the original trim, doors, staircase, windows and baseboards
- there are six doors off of the dining room
- the floors are made of wide boards
- no additions, although the kitchen has been remodelled
- has the original gothic pointed window
- has bevelled brick design
- has the common brick bond

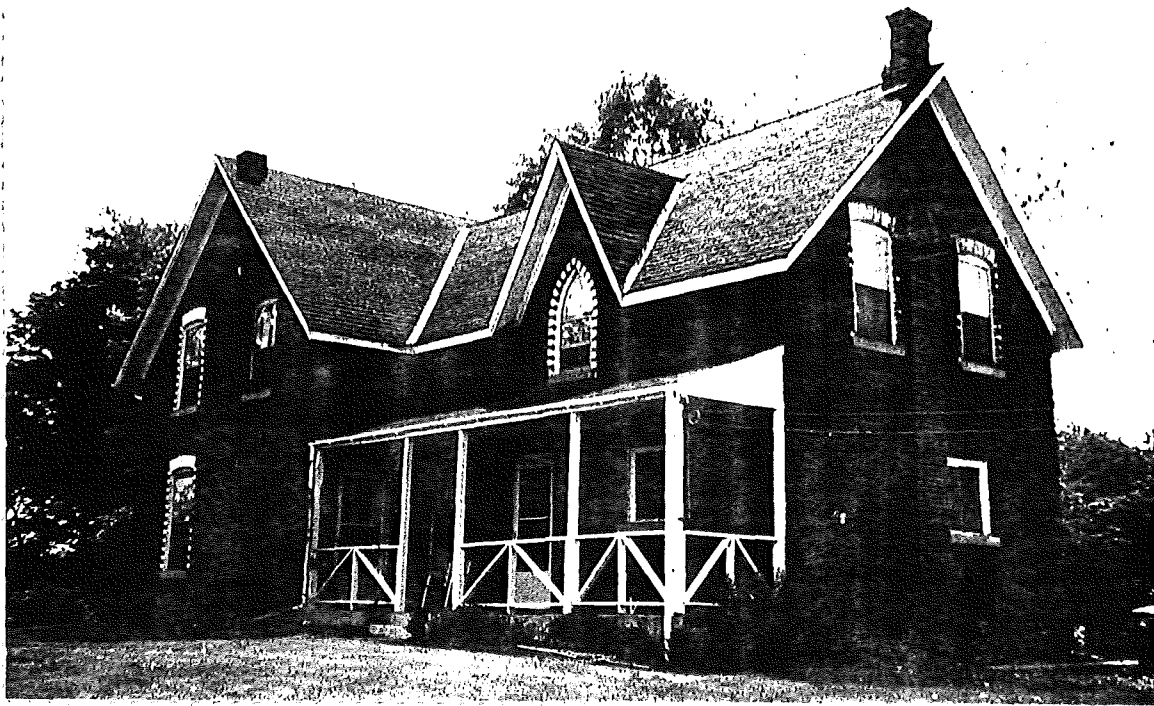
Roof:

- was wooden shingles, now asphalt shingles
- were originally five bracket chimneys, now there is one



WEST VIEW ↑

- brick relieving arches over windows and doors
- wall dormer with pointed arch window



NORTH & EAST VIEWS ↑

- wall dormer with pointed arch window
- porch
- corbeled chimney caps

APPENDIX B

Building Condition Assessment

BUILDING CONDITION ASSESSMENT

9285 Twenty Road West, Mount Hope, Ontario



Front Elevation

Prepared for

Spallacci & Sons Limited

Prepared by
LANHACK Consultants Inc.

Project No. 20096

July 30, 2020





1.0 INTRODUCTION

Scope of Work

The services of LANHACK Consultants Inc. were retained to perform an assessment of the physical condition of the building at 9285 Twenty Road West in Mount Hope, Ontario. All of the reasonably accessible areas were examined during the assessment of the building. Our mandate did not include non-destructive or destructive testing, opening of roof systems, wall assemblies, or other enclosures. Our mandate did not include verification or engineering calculations of the building or the design of its components.

The building's structure, roofing system, building envelope and site conditions were visually examined, where possible, with a walkthrough inspection. The structural components were randomly inspected to assess the overall condition. Original architectural and structural drawings were not available to verify or analyse design loads or design details.

Building/Property Description

The existing building consists of the original 1860 circa, 2-storey building with a basement and faces north. It is set back approximately 650 ft from Twenty Road in Mount Hope. The original building area coverage is approximately 1,100 sf, with a gross floor area of approximately 2,200 sf. A 2-storey addition was constructed on the south side of the original building with an approximate building area coverage of 650 sf and gross floor area of approximately 1,000 sf. (See **Figure 2.0**) The date of construction of this addition is unknown, but it is assumed to be in the early 20th century. The south addition was demolished in 2009. (See **Figure 3.0**) A second addition was constructed on the east side of the building in 2009. This structure was an approximate 300 sf, 1-storey shed building and was demolished in 2019.

2.0 CONDITION ASSESSMENT

2.1 Reliance Information

This brief report has been prepared for the exclusive use of Spallacci & Sons Limited. and may not be relied upon by any other party without the written consent of LANHACK Consultants Inc.

2.2 Procedures and Conditions

Observations on the property and building were compiled and are presented hereafter. During the on-site assessment, no existing drawings were available for the purpose of reviewing specific structural items. No verification or analyses concerning design loads or design details was carried out. The building condition assessment was conducted by a qualified professional engineer from LANHACK Consultants Inc. The visit for the building assessment was conducted on July 27, 2020 under sunny conditions and an outdoor temperature of approximately 31°C.



2.3 Building Condition

2.3.1 Structure

The original 2-storey building consists of multi-wythe brick exterior walls, with an open gable roof, constructed of wood timber interior walls, floor joists and roof joists. (See **Figures 4.0 to 7.0**) The timber appeared to be sawn lumber of actual dimensions, which is typical for circa 1800 buildings. The entire building is supported on a rubble stone foundation wall.

The inside face of the exterior walls is clad with 1"x2" wood strapping and shims with wood lath and plaster. (See **Figure 8.0**)

A portion of the interior load bearing walls were exposed at the time of our assessment. The wall construction consists of 2"x4" timber studs rotated 90° from standard and spaced 18" o/c with lath and plaster on each side. (See **Figure 9.0**) The current construction of the load bearing walls do not provide any lateral bracing of the weak axis of the wall studs. Therefore, due to the lack of bracing and large spacing of the studs, the interior load bearing walls are structurally deficient.

It appears that the ceiling joists bear on the interior walls on the 2nd floor of the building. The walls supporting the ceiling joists span parallel to the floor joists. At the time of assessment, it could not be determined if the wall is supported by a beam or the floor joist system.

The floor joists throughout the building consisted of 2"x10" timber joists at 18" o/c with a 1" thick wood tongue-and-groove decking. (See **Figure 10.0**) The joists were supported on the brick wall at the exterior and load-bearing walls at the interior. The ceilings consisted of wood lath and plaster on the underside of the floor joists throughout. (See **Figure 11.0**) The majority of the floor joists supporting the 2nd floor was hidden beneath floor and ceiling coverings and therefore only a small portion of the floor joists could be assessed.

The ground level floor joists are supported on the rubble stone foundation walls at the exterior walls and west interior bearing line. A large 14 1/4" wide x 14 3/4" deep wood beam supports the ground level floor at the east interior bearing line and spans the width of the building and is supported on the rubble stone foundation wall at each end. The ground level floor joists appear to be in poor condition. Multiple notched and split joists were noted throughout. (See **Figure 12.0 and 13.0**) Significant water damage was also noted on the floor joists in the south-west corner of the building. (See **Figure 14.0**) The large wood beam was also noted to have substantial termite damage. (See **Figure 15.0**) This main wood supporting beam is structurally damaged and beyond reasonable repair. It is also evident that the long-term deflection of the wood beam has resulted in the excessive sagging of the two floors that it supports above.

The foundation of the building consists of rubble stone approximately 16" thick. (See **Figure 16.0**) It is assumed that there is no footing under the foundation as typical of buildings at the time it was constructed. A small portion of the basement floor consists of a concrete deteriorated slab on grade at the north side of the building. (See **Figure 17.0**) The rest of the basement floor consists of soil only. At the south end of the building, the foundation wall has shifted significantly approximately 4" out-of-plane. Large



diagonal cracks were noted at this location and is considered structurally unstable. (See **Figure 18.0**) The rubble stone foundation walls require significant restoration and is beyond reasonable repair.

There is a small exterior stair access to the 2nd level of the building on the north side which consists of two sets of stairs and a mid and upper landing. (See **Figure 4.0**) The stairs from grade to the mid landing have been removed. The upper landing is framed with walls and a roof above. The framing of the roof of the landing appears to be severely weathered, and in very poor condition. (See **Figure 19.0**) The framing of the two landings appear to also be severely weathered, and in poor condition. These areas are all structurally damaged and beyond reasonable repair.

2.3.2 Building Envelope

The exterior walls of the building are load bearing and consist of multi-wythe brick from the ground floor datum-to-roof. In general, the brick was found to be in poor condition and exhibit progressive signs of water migration. Separation of the brick is apparent on the east face of the building with large gaps present in the mortar joints. (See **Figure 20.0**) Gaps in the mortar joints was also noted on the south face of the building. Years of continued water penetration will result in severely damaged load bearing brick. The west face of the building was nearly completely covered in vines; therefore, the condition of the brick could not be assessed. However, vine growth typically speeds up the deterioration of brick and mortar joints, causing it to be more susceptible to water migration. (See **Figure 7.0**)

The windows and doors of the building were covered with plywood from the interior of the building at the time of the assessment, however from exterior observations it appears that the window frames are made of wood and are original to the building. The window panes appear to be single glazed. From what could be observed, the window and door frames appear to be in very poor condition.

2.3.3 Roofing

The roof of the building is constructed with timber roof rafter and ceiling joists with a wood ridge board at the peak. (See **Figure 21.0** and **22.0**) The roof consisted of intersecting open gables. The rafters are covered in wood planking and a metal roof. It appears that current metal roof cladding has done a reasonable job of preserving the structure from water as no water stains from the roof were noted at the time of the assessment.

It appears that the rafters and roof decking at the west side of the building has experienced fire damage as some of the rafters and roof decking were charred at the time of assessment. (See **Figure 22.0**)

3.0 SUMMARY

- Exterior load bearing show signs of water migration and are in poor condition.
- Interior load bearing wall construction is unconventional and prone to buckling in weak axis.
- Charred roof rafters and roof planks show evidence of previous fire damage.
- Areas of severely notched and water damaged floor joists identified in basement.
- Main wood support beam in basement has significant termite damage causing structural damage and is greatly deflected.



- Rubble stone foundation wall shifted and is structurally unstable.
- Exterior stairs and landings severely weathered and in a state of disrepair.

Based on our limited visual inspection of the structure, we have noted that significant structural reinforcement and modification would be required to satisfy current OBC requirements for occupancy. It is our opinion that the remedial measures required are excessive and would not be economically feasible for the current condition of the structure.

4.0 LIMITATIONS

This brief report is solely for the use of Spallacci & Sons Inc. The material in this brief report reflects our best judgement in light of the information available to our firm and our site visits. No portion of this brief report should be used as a separate entity, as it is written to be read in its entirety. Any use which a third party makes of this brief report, or any reliance on or decisions to be made based on it, is the responsibility of such third parties.

We trust this brief report meets your present requirements. Please do not hesitate to contact us, if any questions arise.

Yours truly,
LANHACK Consultants Inc.

A handwritten signature in black ink, appearing to read 'D. Hacking', is written over a horizontal line.

David Hacking, P.Eng.

DH/mb

Attachments

Appendix A – Site Photos
Appendix B – Existing Structural Framing



APPENDIX A: Site Photos

- Figure 1.0:** 9285 Twenty Rd circa 1984 (Source: LACAC 1984)
- Figure 2.0:** Aerial Photo circa 2007 (Source: City of Hamilton Mapping)
- Figure 3.0:** Aerial Photo circa 2010 (Source: City of Hamilton Mapping)
- Figure 4.0:** North Façade of Building
- Figure 5.0:** East Façade of Building
- Figure 6.0:** South Façade of Building
- Figure 7.0:** West Façade of Building
- Figure 8.0:** Interior Face of Exterior Brick Walls
- Figure 9.0:** Interior 2nd Floor Load-Bearing Wall
- Figure 10.0:** Typical Existing Floor Joists on 2nd Floor
- Figure 11.0:** Typical Ceiling
- Figure 12.0:** Multiple Notched Ground Level Floor Joists
- Figure 13.0:** Typical Split Ground Level Floor Joists
- Figure 14.0:** Existing Ground Level Floor Joist at South-West Corner
- Figure 15.0:** Termite Damage Noted on Large Wood Beam in Basement
- Figure 16.0:** Typical Rubble Stone Foundation Wall
- Figure 17.0:** Small Portion of Slab on Grade in Basement
- Figure 18.0:** Severely Cracked and Shifted Foundation Wall
- Figure 19.0:** Exterior Stair Landing Roof Framing
- Figure 20.0:** Large Gaps in Brick Joints on East Face
- Figure 21.0:** Typical Roof Framing
- Figure 22.0:** Roof Framing on East Side

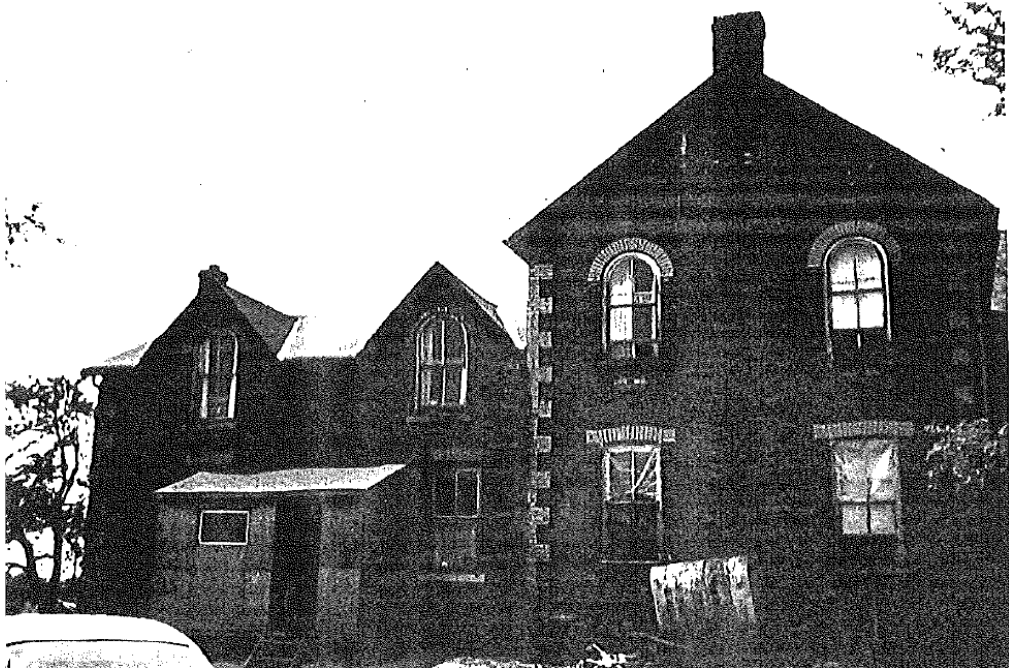


Figure 1.0: 9285 Twenty Rd circa 1984 (Source: LACAC 1984)



Figure 2.0: Aerial Photo circa 2007 (Source: City of Hamilton Mapping)
Featuring south side addition as shown



Figure 3.0: Aerial Photo circa 2010 (Source: City of Hamilton Mapping)
Featuring demolished south addition and new east shed addition



Figure 4.0: North Façade of Building
Featuring exterior stair access to 2nd floor



Figure 5.0: East Façade of Building



Figure 6.0: South Façade of Building
Evidence of south addition with parged and discoloured brick



Figure 7.0: West Façade of Building
Vine growing up the face of the building hiding the condition of brick



Figure 8.0: Interior Face of Exterior Brick Walls
Multi-wythe brick with 1"x2" wood strapping, wood lath and plaster



Figure 9.0: Interior 2nd Floor Load-Bearing Wall
2"x4" studs at 18" o/c, rotated 90° with wood lath and plaster on each side



Figure 10.0: Typical Existing Floor Joists on 2nd Floor
2"x10" timber floor joists at 18" o/c with 1" wood T&G decking



Figure 11.0: Typical Ceiling
Wood lath and plaster on underside of ceiling and floor joists



Figure 12.0: Multiple Notched Ground Level Floor Joists
Floor joists supported by large wood beam on right side



Figure 13.0: Typical Split Ground Level Floor Joist



Figure 14.0: Existing Ground Level Floor Joist at South-West Corner
Significant water damage noted on floor joists and floor decking
Floor joist second from left completely split apart



Figure 15.0: Termite Damage Noted on Large Wood Beam in Basement



Figure 16.0: Typical Rubble Stone Foundation Wall



Figure 17.0: Small Portion of Slab on Grade in Basement
Multiple cracks throughout slab
Soil floor throughout majority of basement



Figure 18.0: Severely Cracked and Shifted Foundation Wall



Figure 19.0: Exterior Stair Landing Roof Framing



Figure 20.0: Large Gaps in Brick Joints on East Face



Figure 21.0: Typical Roof Framing



Figure 22.0: Roof Framing at East Side
Rafters and planks charred showing evidence of fire damage

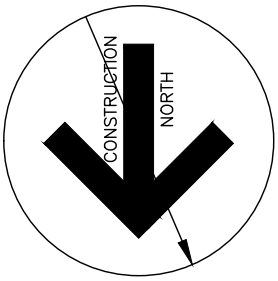
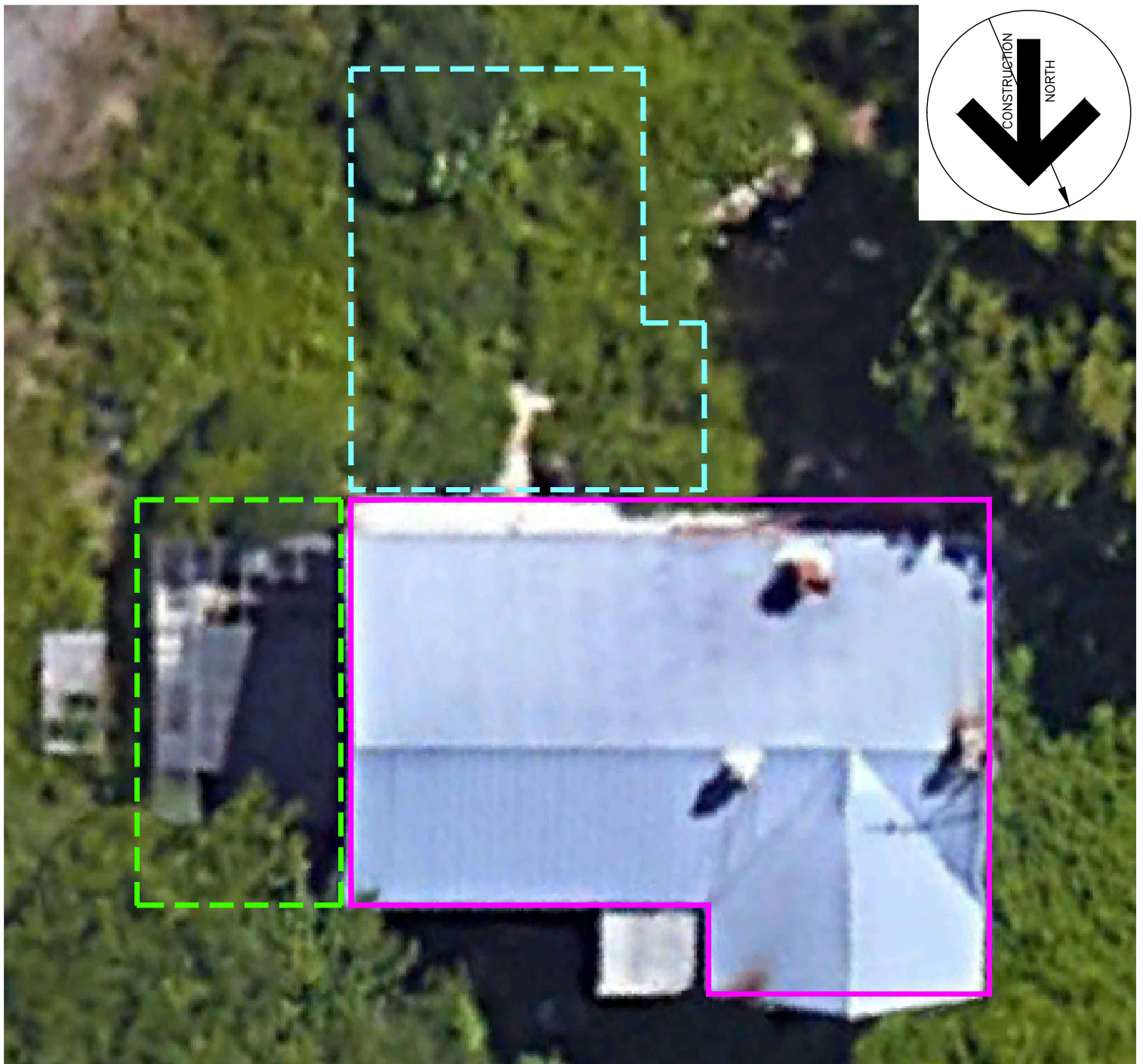


APPENDIX B: Existing Structural Framing

SK-S1: Key Plan

SK-S2: Existing Foundation and 1st Floor Framing Plans


SK-S3: Existing 2nd Floor and Roof Framing Plans

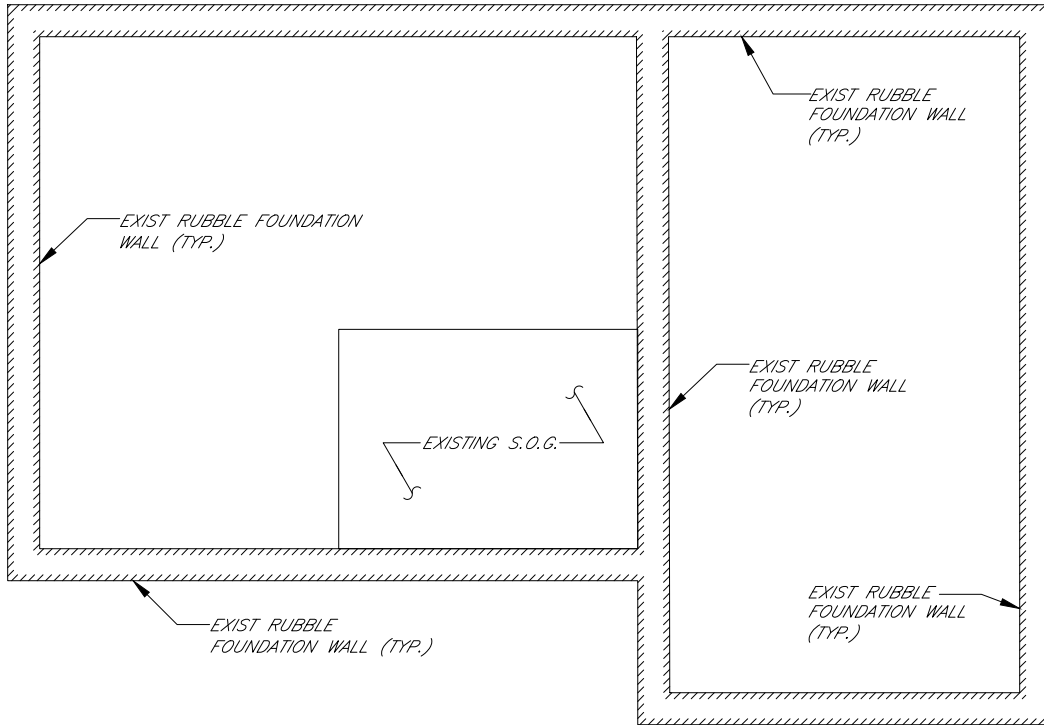


LEGEND

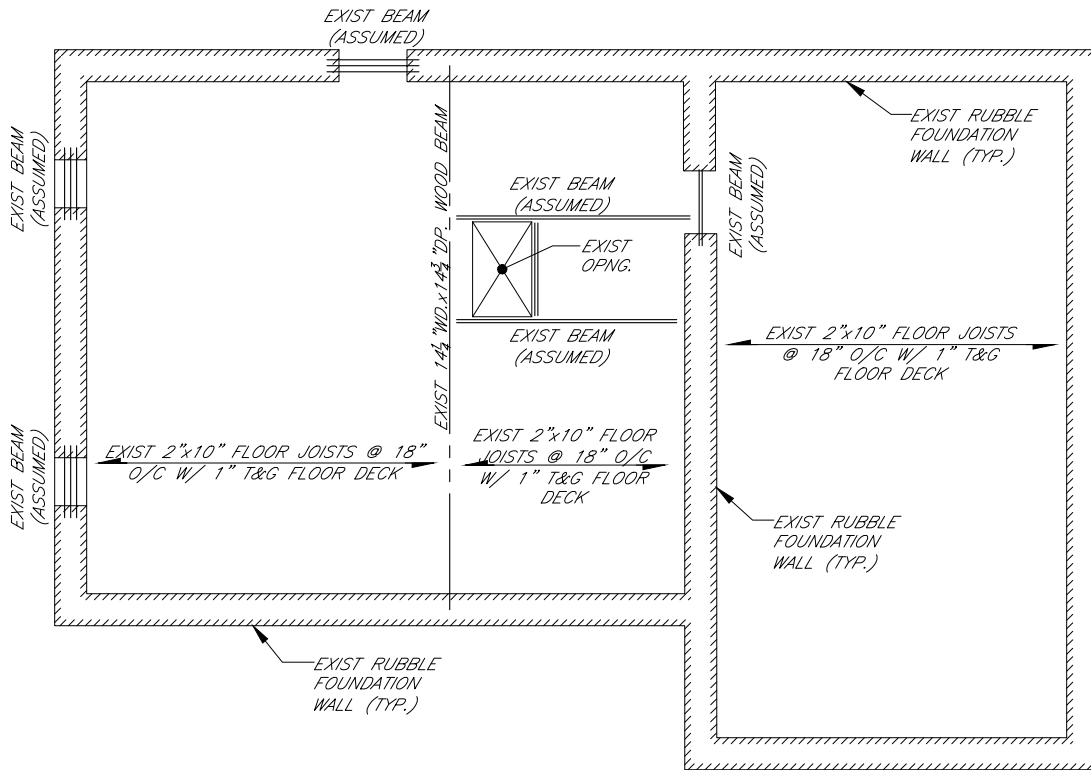
- ORIGINAL 2-STOREY BRICK HOUSE
CIRCA 1860 – PRESENT
- DEMOLISHED 2-STOREY BRICK ADDITION
CIRCA 1900 – 2009
- DEMOLISHED 1-STOREY SHED ADDITION
CIRCA 2009 – 2019

DATE OF PHOTO: 06/30/2018
COURTESY OF GOOGLE EARTH

	LANHACK Consultants Inc. Consulting Engineers 1709 Upper James Street Hamilton, ON L9B 1K7 Tel: (905) 777-1454 Fax: (905) 336-8142		PROJECT: 9285 TWENTY ROAD WEST MOUNT HOPE, ON	
			DRAWING: KEY PLAN	
	Date (m/d/y): 07/30/20	DRWN BY: MSB	Project No.: 20096	
	SCALE: N.T.S.	CHKD BY: DH	Dwg. No.: SK-S1	
SKETCH IS TO BE READ IN CONJUNCTION WITH THE CONTRACT DRAWINGS AND DOCUMENTS		M:\2020\20096 - 9285 Twenty Road\Existing Condition\ 20096_S1-1, Plans.dwg		Plot Date: 07/30/20



EXIST. FOUNDATION PLAN



EXIST. 1ST FL FRAMING PLAN



LANHACK Consultants Inc.
 Consulting Engineers
 1709 Upper James Street
 Hamilton, ON L9B 1K7
 Tel: (905) 777-1454
 Fax: (905) 336-8142

PROJECT: 9285 TWENTY ROAD WEST
 MOUNT HOPE, ON

DRAWING: EXISTING FOUNDATION & 1ST FLOOR FRAMING PLANS

Date (m/d/y): 07/30/20

DRWN BY: MSB

Project No.: 20096

SCALE: 1/8" = 1'-0"

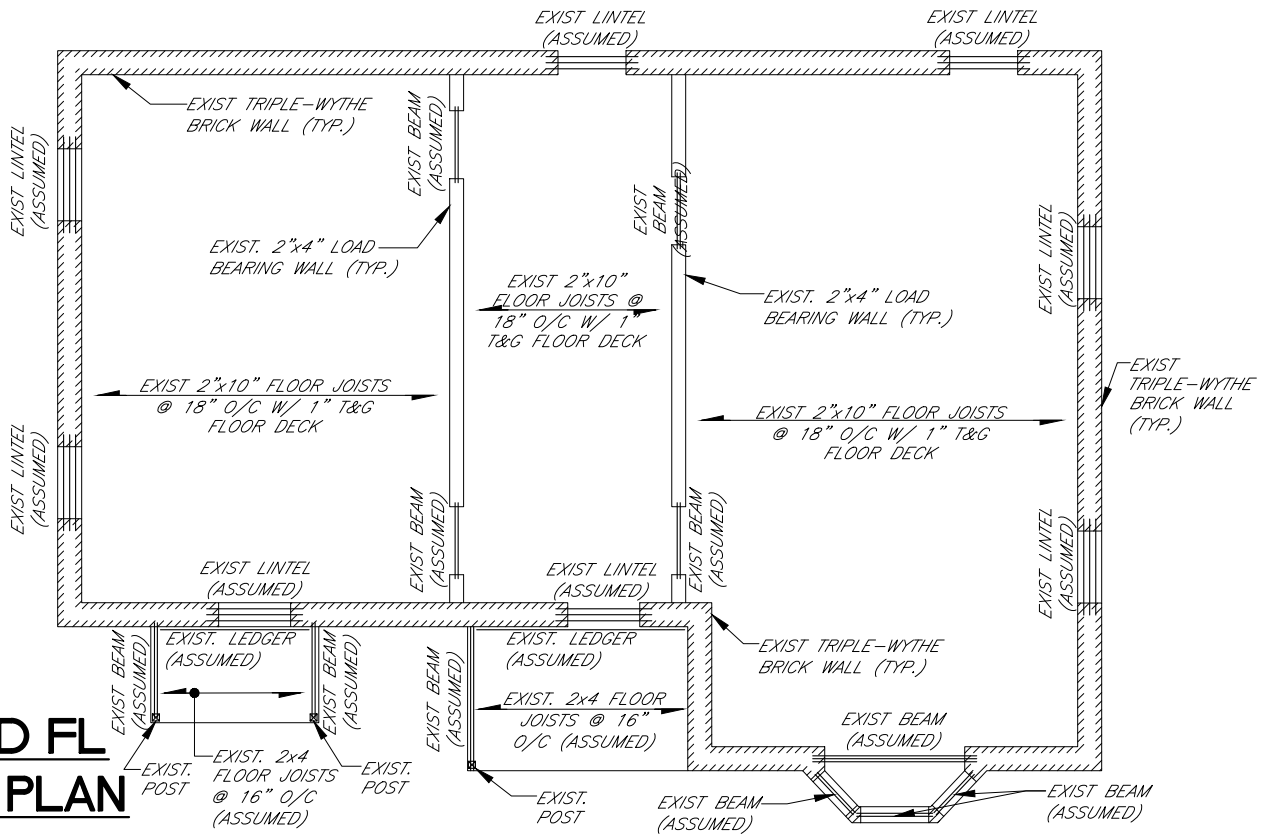
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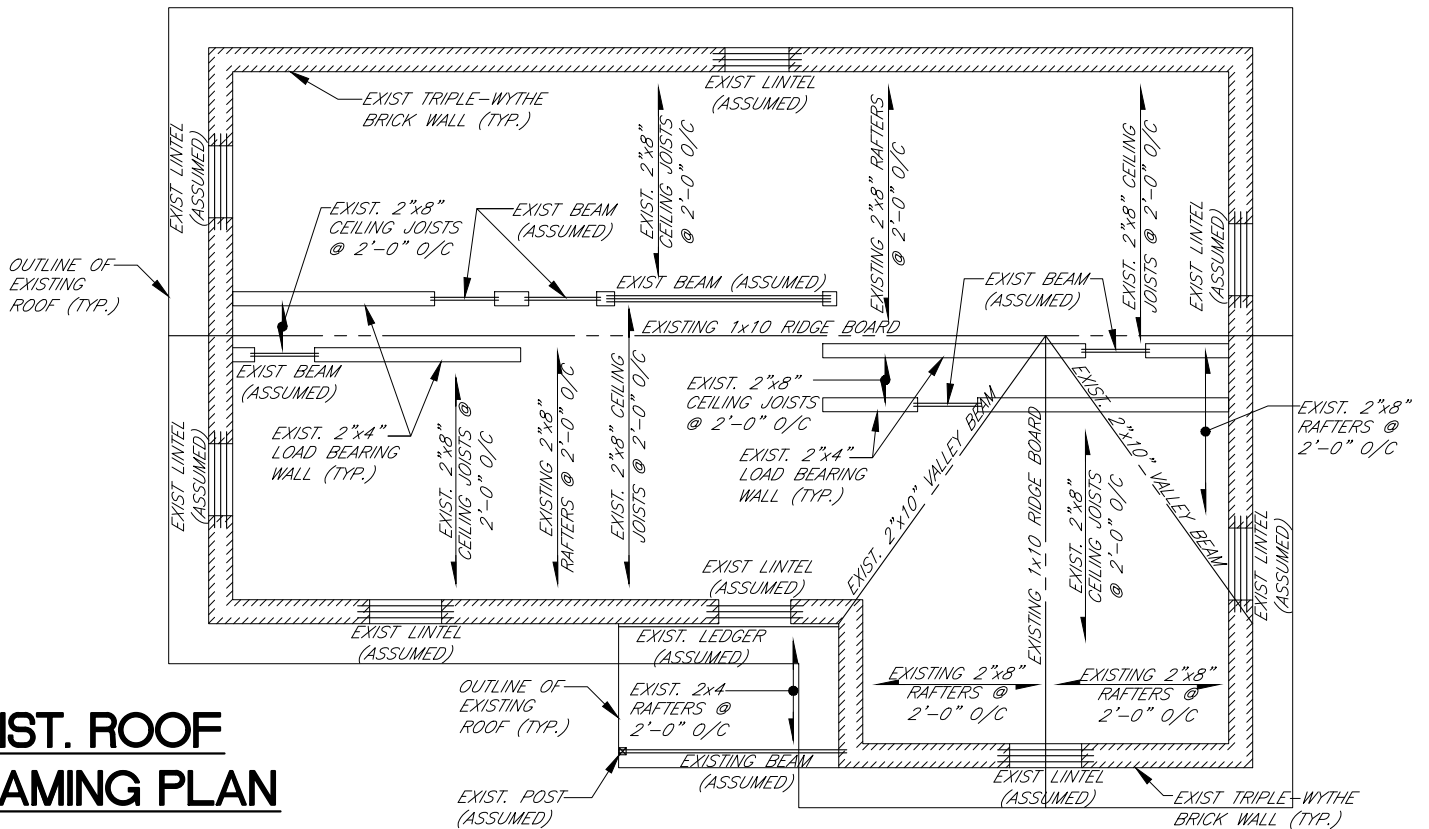
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Plot Date: 07/30/20



**EXIST. 2ND FL
FRAMING PLAN**



**EXIST. ROOF
FRAMING PLAN**



LANHACK Consultants Inc.
 Consulting Engineers
 1709 Upper James Street
 Hamilton, ON L9B 1K7
 Tel: (905) 777-1454
 Fax: (905) 336-8142

PROJECT: 9285 TWENTY ROAD WEST
 MOUNT HOPE, ON

DRAWING: EXISTING 2ND FLOOR & ROOF FRAMING PLANS

Date (m/d/y): 07/30/20

DRWN BY: MSB

Project No.: 20096

SCALE: 1/8" = 1'-0"

CHKD BY: DH

Dwg. No.: SK-S3

SKETCH IS TO BE READ IN CONJUNCTION WITH
 THE CONTRACT DRAWINGS AND DOCUMENTS

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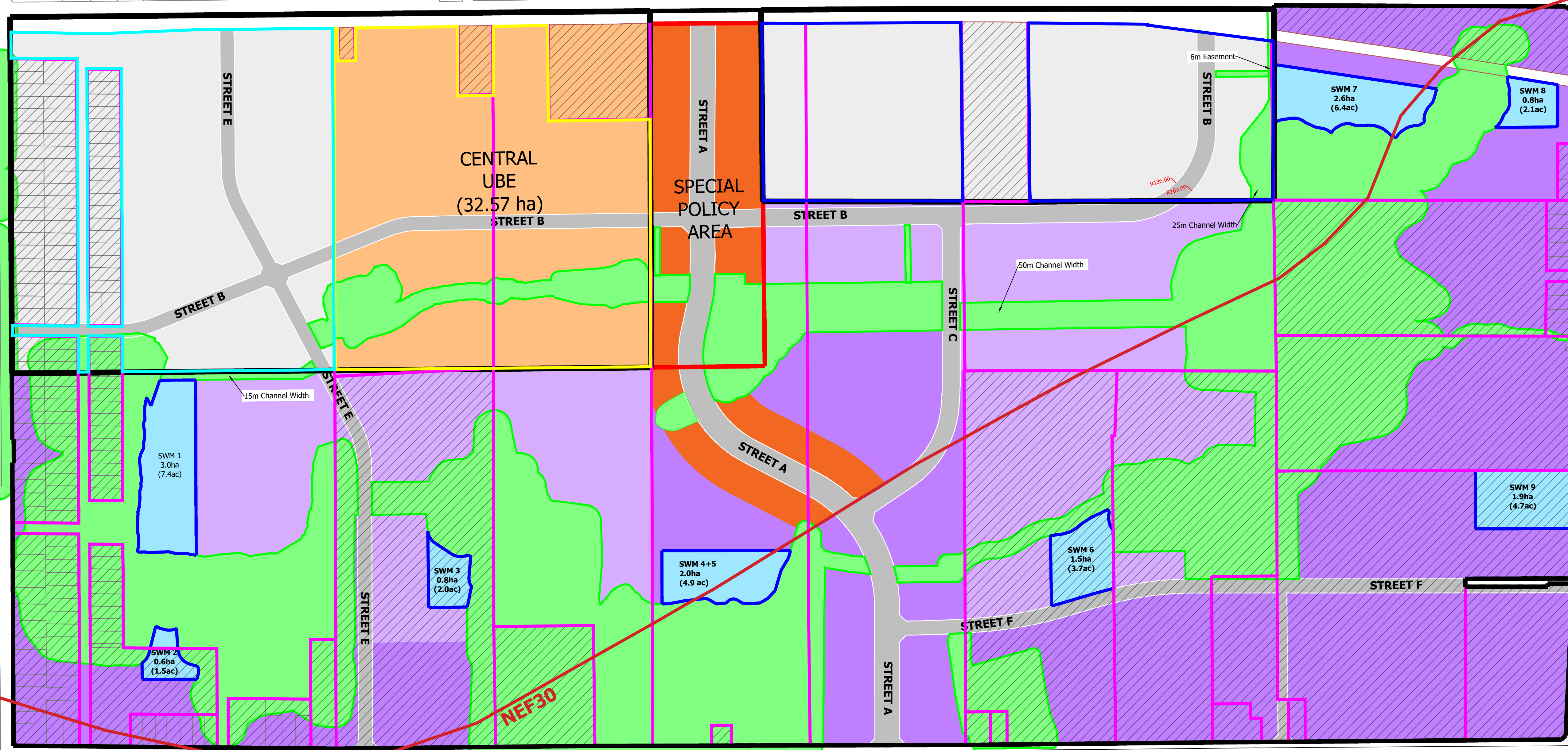
Plot Date: 07/30/20

APPENDIX C

**Subdivision Plan dated February
24, 2020**



KEY MAP:



LEGEND:

Residential Lands (Total Area: 27.40 ha)	
Mixed Use Lands	
Natural Open Space (Total Area: 3.63 ha)	
Airport Light Industrial (AEGD)	
Airport Prestige Business (AEGD)	
Non-Participating Lands	
White Belt Boundary	
Property Boundaries	
Special Policy Areas	
Roads (Total Area: 1.54 ha)	

NEF30

NEF30

Urban Boundary Expansion Plan

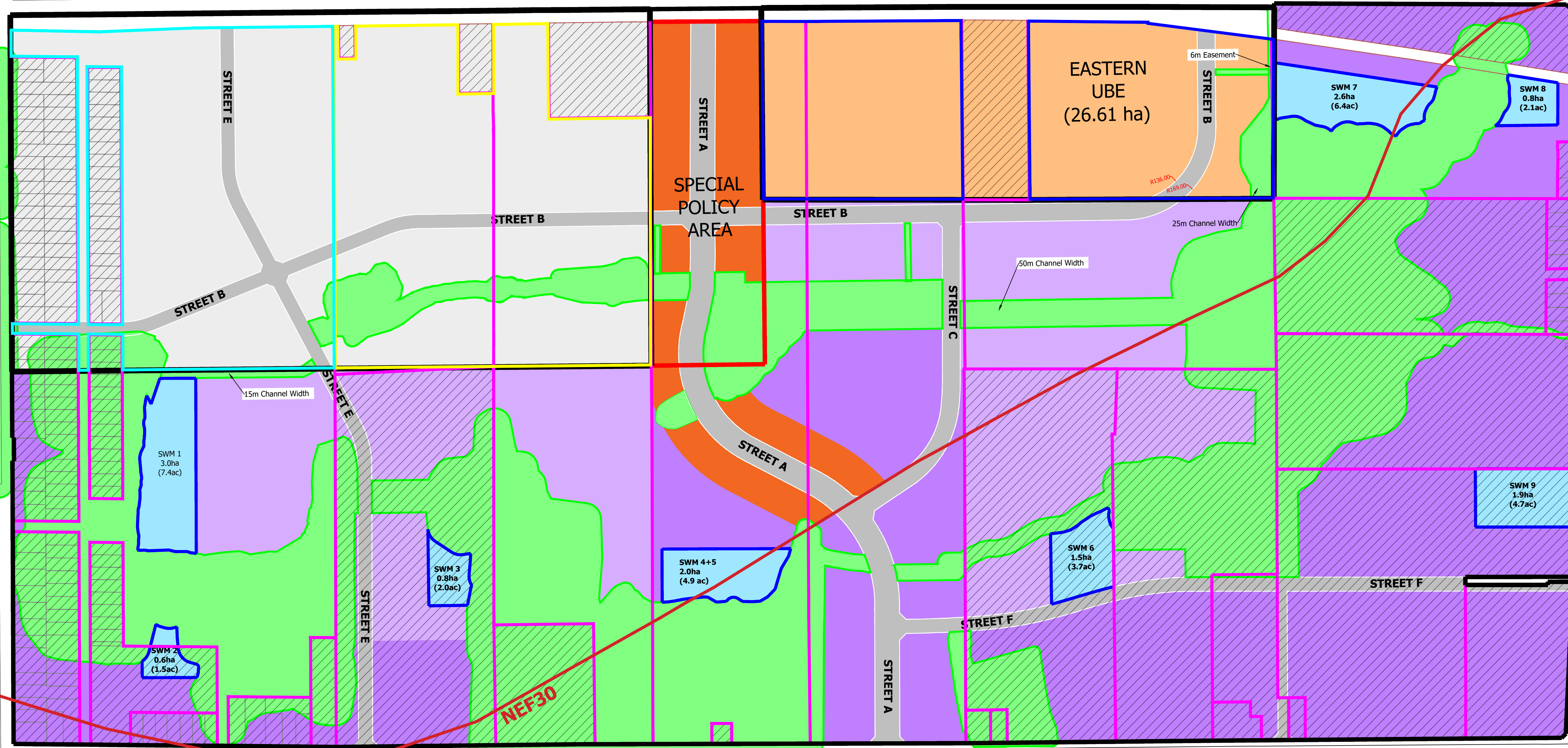
Central Application

Scale: N.T.S.

483 Dundas St W, Unit 212
Oakville, ON L6M 1L9
corbettlandstrategies.ca



KEY MAP:



LEGEND:

Residential Lands (Total Area: 24.51 ha)	
Mixed Use Lands	
Natural Open Space (Total Area: 0.98 ha)	
Airport Light Industrial (AEGD)	
Airport Prestige Business (AEGD)	
Non-Participating Lands	
White Belt Boundary	
Property Boundaries	
Special Policy Areas	
Roads (Total Area: 1.12 ha)	

NEF30

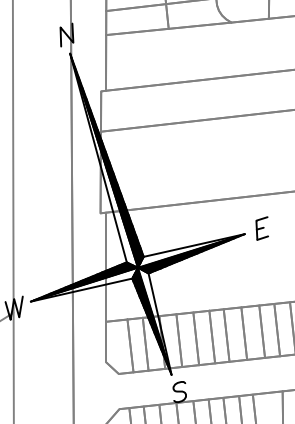
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Urban Boundary Expansion Plan Eastern Application

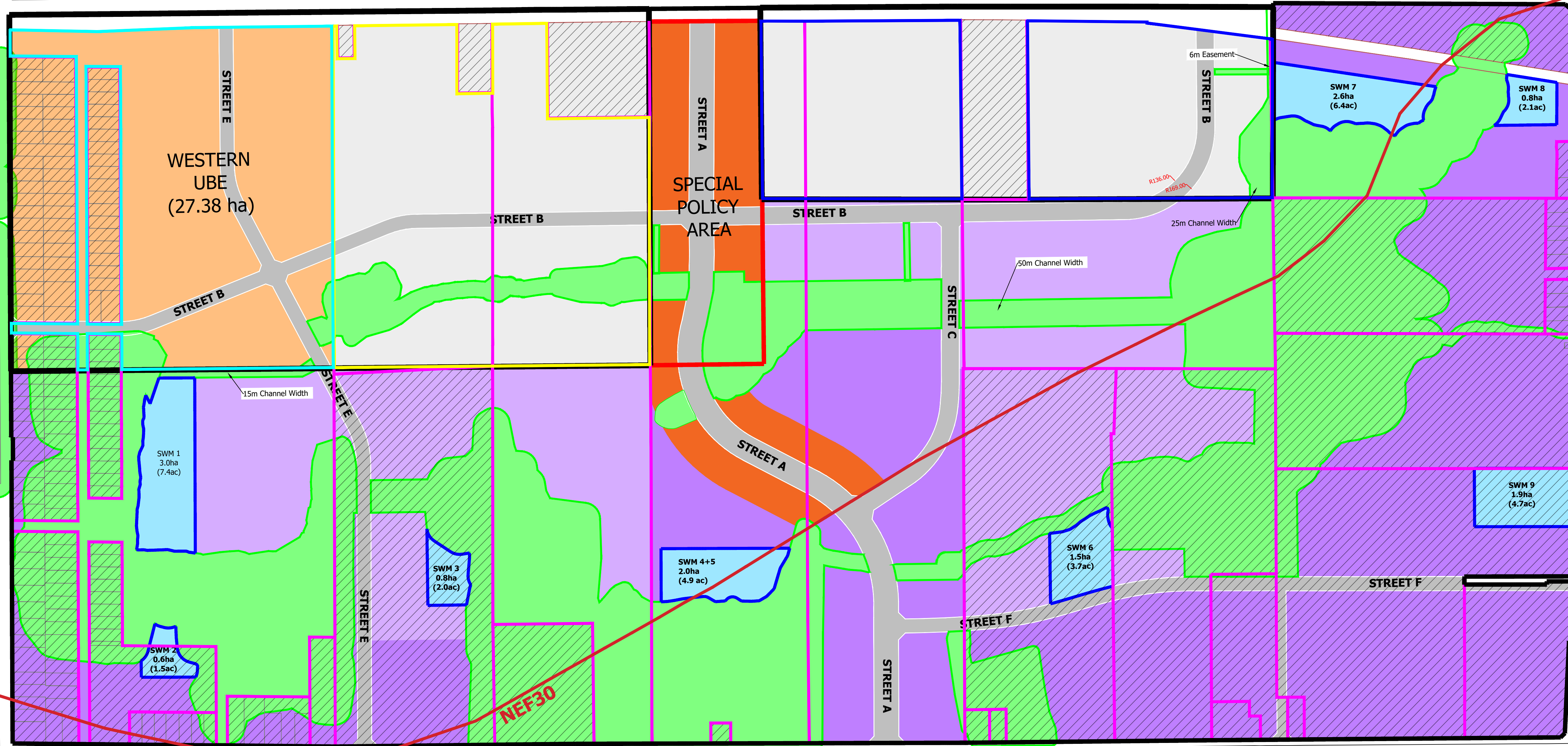
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483 Dundas St W, Unit 212
Oakville, ON L6M 1L9
corbettlandstrategies.ca



KEY MAP:



LEGEND:

Residential Lands (Total Area: 23.22 ha)	
Mixed Use Lands	
Natural Open Space (Total Area: 1.02 ha)	
Airport Light Industrial (AEGD)	
Airport Prestige Business (AEGD)	
Non-Participating Lands	
White Belt Boundary	
Property Boundaries	
Special Policy Areas	
Roads (Total Area: 3.14 ha)	

Scale: N.T.S.

Urban Boundary Expansion Plan

Western Application



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