



# 1494 Upper Wellington Street

## Design Review Panel Submission

October 12, 2023 - Design Review Panel

# PRESENTATION OVERVIEW

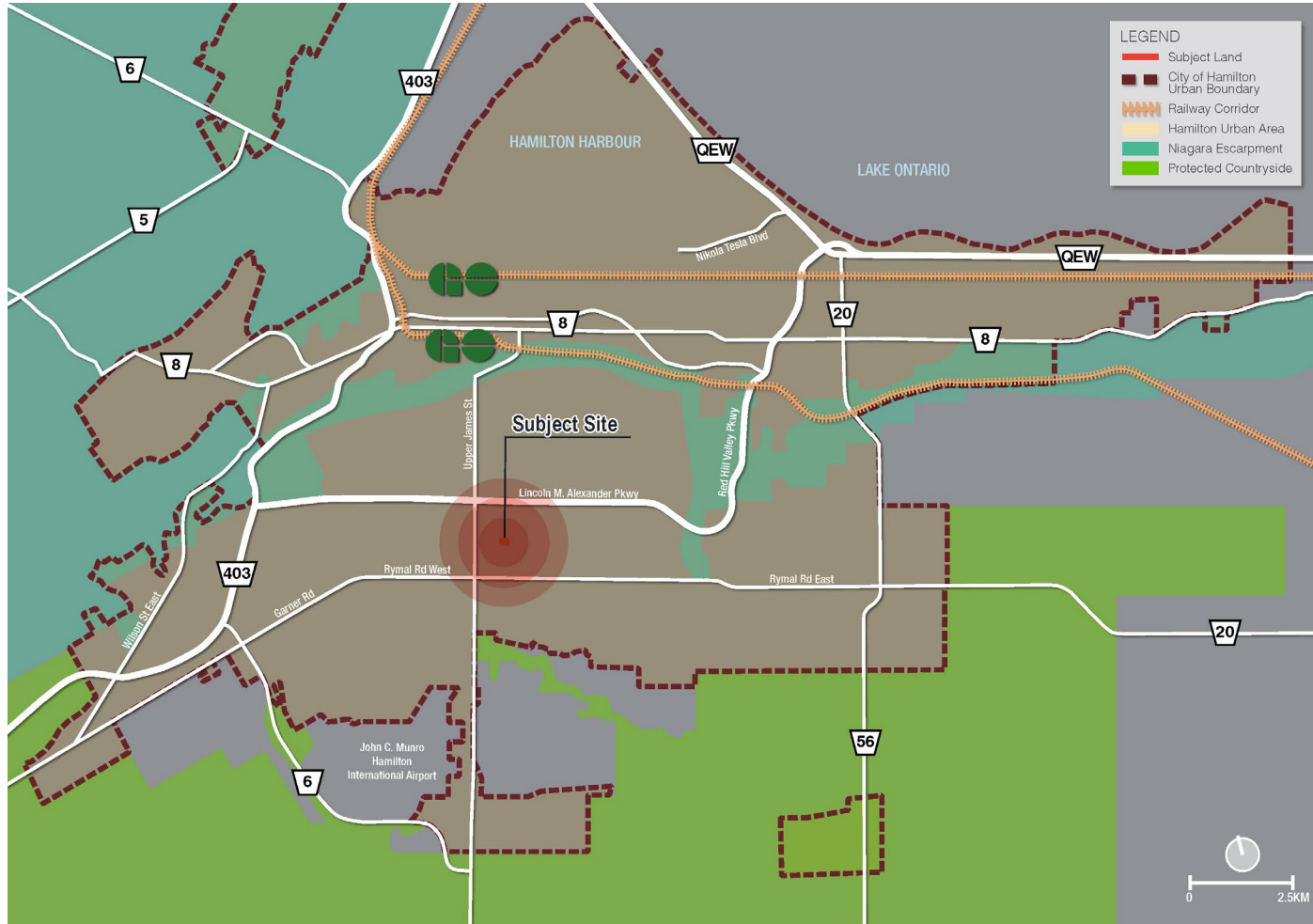
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# PROJECT BACKGROUND & PROPOSAL

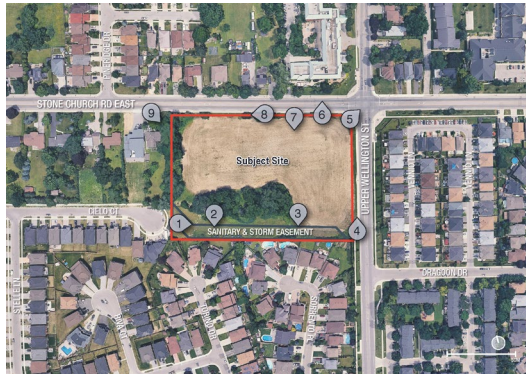
- The proposal includes two (2) residential towers with a total of 685 rental units, 910 parking spaces, and amenity space.
- The building heights range from 6-20 storeys. The tallest heights are internal to the site to minimize impacts on adjacent uses and the public realm.
- The proposal requires a Zoning By-law Amendment.



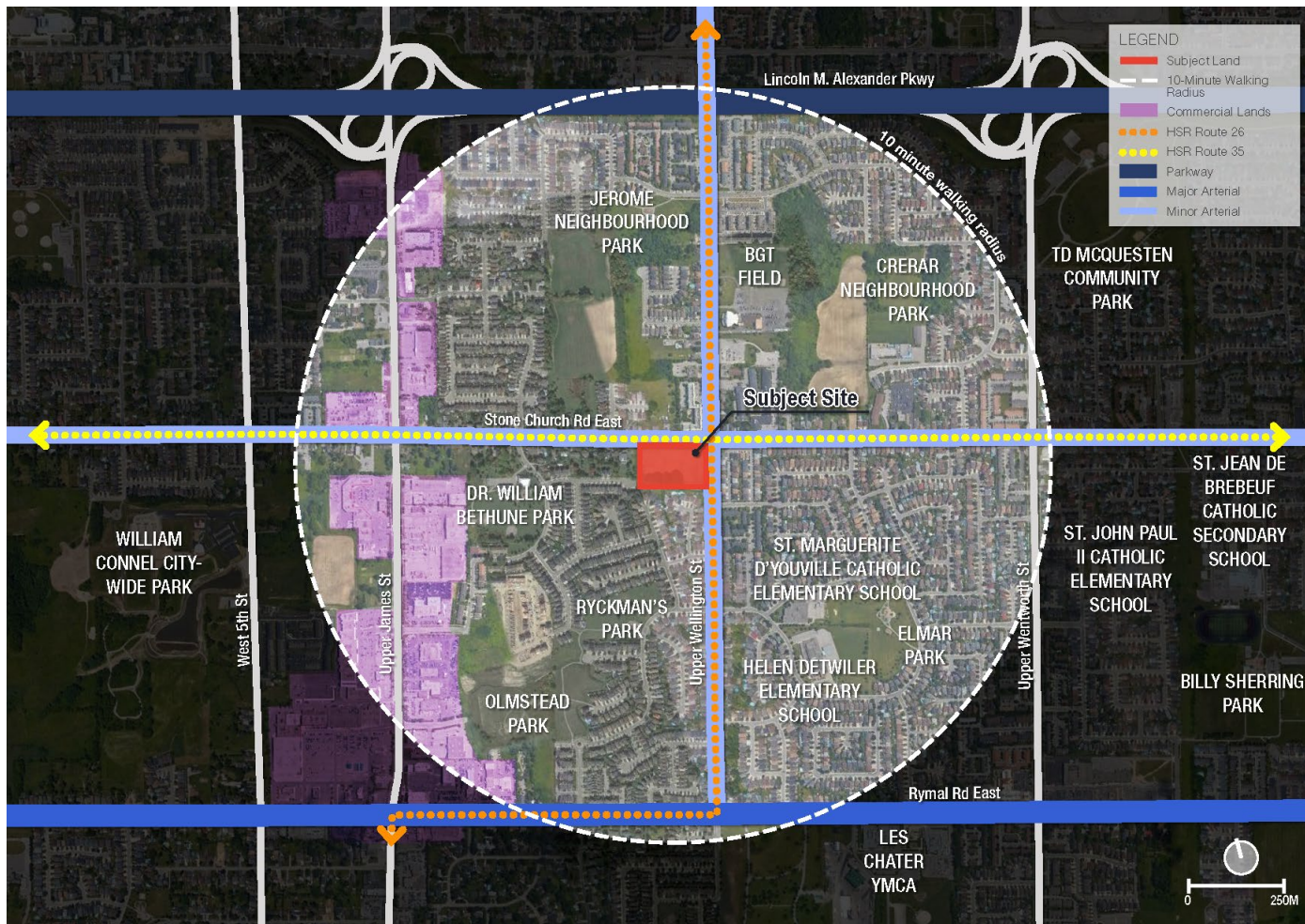
# LOCATION



# CONTEXTUAL ANALYSIS - PHOTO SURVEY



# CONTEXTUAL ANALYSIS - SURROUNDINGS



- In proximity to two primary corridors - Stone Church Road East and Upper Wellington Street
- The site is located near various parks, schools, commercial areas, and other institutions within a 10 minute walking radius.

# URBAN DESIGN POLICIES – INTENSIFICATION

## Urban Hamilton Official Plan

### E3.2.4 - Scale and Design

The existing character of established Neighbourhoods designated areas shall be maintained. Residential intensification within these areas shall enhance and be compatible with the scale and character of the existing residential neighbourhood in accordance with Section B.2.4.

#### B2.4.1.4 - General Intensification Policies

- b) the relationship of the proposed development to existing neighbourhood character so that it builds upon desirable established patterns and built form;
- c) the contribution of the proposed development to maintaining and achieving a range of dwelling types and tenures;
- d) the compatible integration of the proposed development with the surrounding area in terms of use, scale, form and character. In this regard, the City encourages the use of innovative and creative urban design techniques;
- e) the contribution of the proposed development to achieving the planned urban structure as described in Section E.2.0 – Urban Structure;
- f) existing and planned water, wastewater and stormwater capacity;

- g) the incorporation and utilization of green infrastructure and sustainable design elements in the proposed development;
- h) the contribution of the proposed development to supporting and facilitating active transportation modes;
- i) the contribution of the development to be transit-supportive and supporting the use of existing and planned local and regional transit services;
- j) the availability and location of existing and proposed public community facilities/services;
- k) the ability of the development to retain and/or enhance the natural attributes of the site and surrounding community including, but not limited to native vegetation and trees; and,

#### Response:

- Mix of unit sizes with 1, 2, and 3 bedroom rental units
- Can be adequately serviced by existing services and will support sustainable development principles
- A podium and tower design, and tower location reduces perceived height of towers
- Provides a transit-supportive density to support transit investment and complete community objectives

# URBAN DESIGN POLICIES – HIGH DENSITY RESIDENTIAL DESIGN

## Urban Hamilton Official Plan

### E3.6.7 – High Density Residential Design

d) Development within the high density residential category shall be evaluated on the basis of the following criteria:

- i) provide adequate landscaping, amenity features, on-site parking, and
- ii) buffering where required;
- iii) be compatible with existing and future uses in the surrounding area in terms of heights, massing, and an arrangement of buildings and structures;
- iv) provide adequate access to the property, designed to minimize conflicts between traffic and pedestrians both on-site and on surrounding streets;
- v) provide for a mix of unit sizes to accommodate a range of household sizes and income levels, to be implemented through the Zoning By-law; and, (OPA 167)

- vi) incorporate sustainable building and design principles including but not limited to use of locally sourced and/or recycled materials, water conservation and energy efficient techniques and low impact development approaches. (OPA 167)

#### Response:

- Prioritize pedestrian access by establishing continuous pedestrian system and connections to municipal sidewalks
- 2 vehicular access points to minimize conflicts
- Towers sited internal to the site to minimize visual, wind, and shadowing impacts
- 4-storey podium is designed to create a comfortable pedestrian experience and ensure sunlight access to sidewalks
- Mix of unit sizes with 1, 2, and 3 bedroom rental units



# URBAN DESIGN POLICIES – LANDSCAPE & PUBLIC REALM

## Urban Hamilton Official Plan

### B3.3.2.4 – Urban Design Principles

Quality spaces physically and visually connect the public and private realms. Public and private development and redevelopment should create quality spaces by:

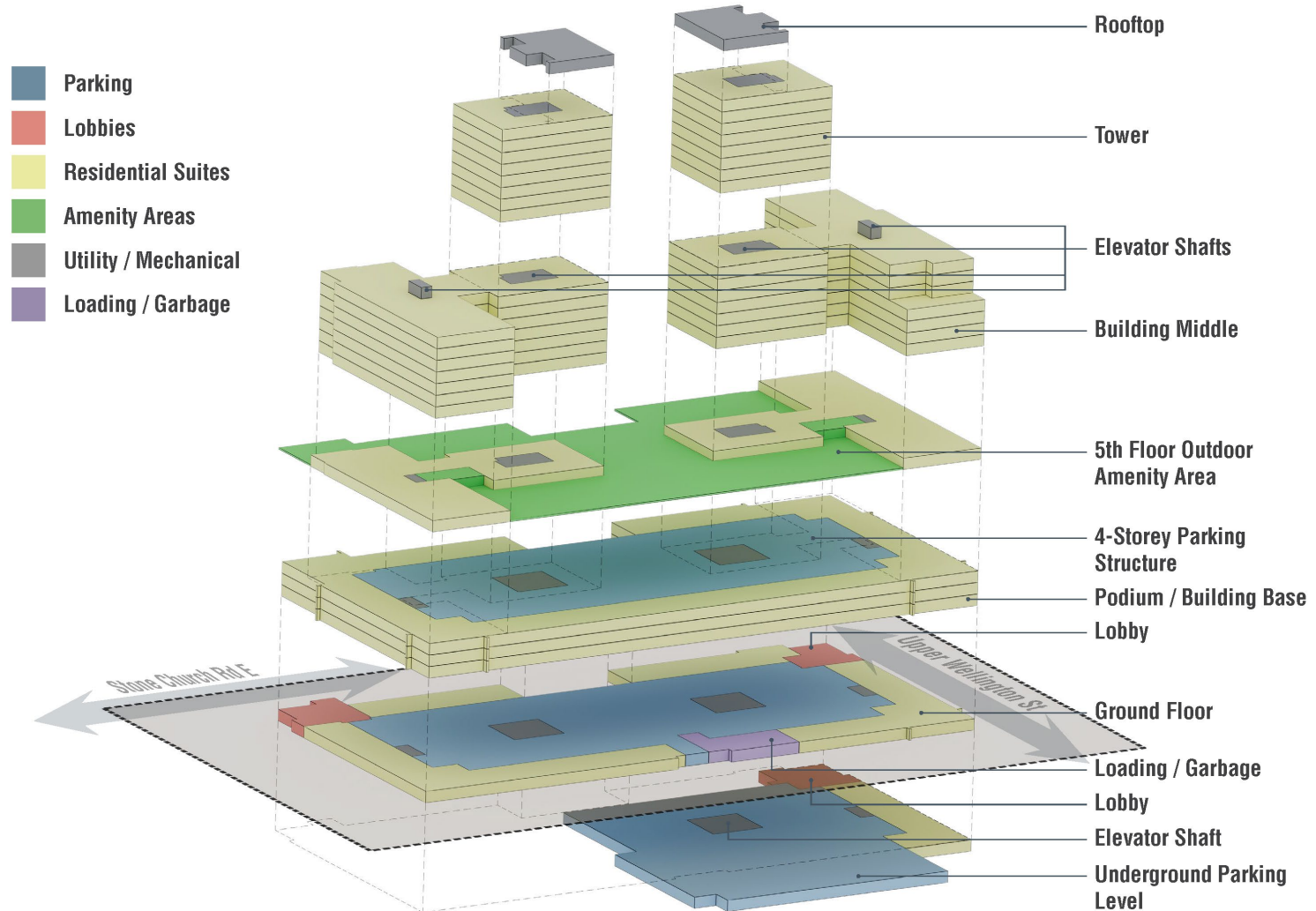
- a) organizing space in a logical manner through the design, placement, and construction of new buildings, streets, structures, and landscaping;
- b) recognizing that every new building or structure is part of a greater whole that contributes to the overall appearance and visual cohesiveness of the urban fabric;
- c) using materials that are consistent and compatible with the surrounding context in the design of new buildings;
- d) creating streets as public spaces that are accessible to all;
- e) creating a continuous animated street edge in urban environments;
- f) including transitional areas between the public and private spaces where possible through use of features such as landscaping, planters, porches, canopies, and/or stairs;

- g) creating public spaces that are human-scale, comfortable, and publicly visible with ample building openings and glazing;
- h) creating, reinforcing, and emphasizing important public vistas and view corridors; and,
- i) minimizing excessive street noise and stationary noise source levels through the design, placement, and construction of buildings and landscaping.

### Response:

- Uninterrupted podium building line frames the street and unifies the built form, while creating a comfortable pedestrian environment.
- Use of high-quality, sustainable materials that are compatible with the surrounding neighbourhood
- Improve streetscape with street trees, landscaping, and street furniture
- Building entrances are oriented to the street and corner intersections in convenient and prominent locations
- Significant private rooftop amenity area

# MASSING



# RENDERINGS



View from Stone Church Road East

# RENDERINGS



View from Stone Church Road East

# RENDERINGS



View from Sorrento Place

# RENDERINGS



View from Sorrento Place

# RENDERINGS



View from Wellington Street

# RENDERINGS



View from Wellington Street



# RENDERINGS



View from Cielo Court

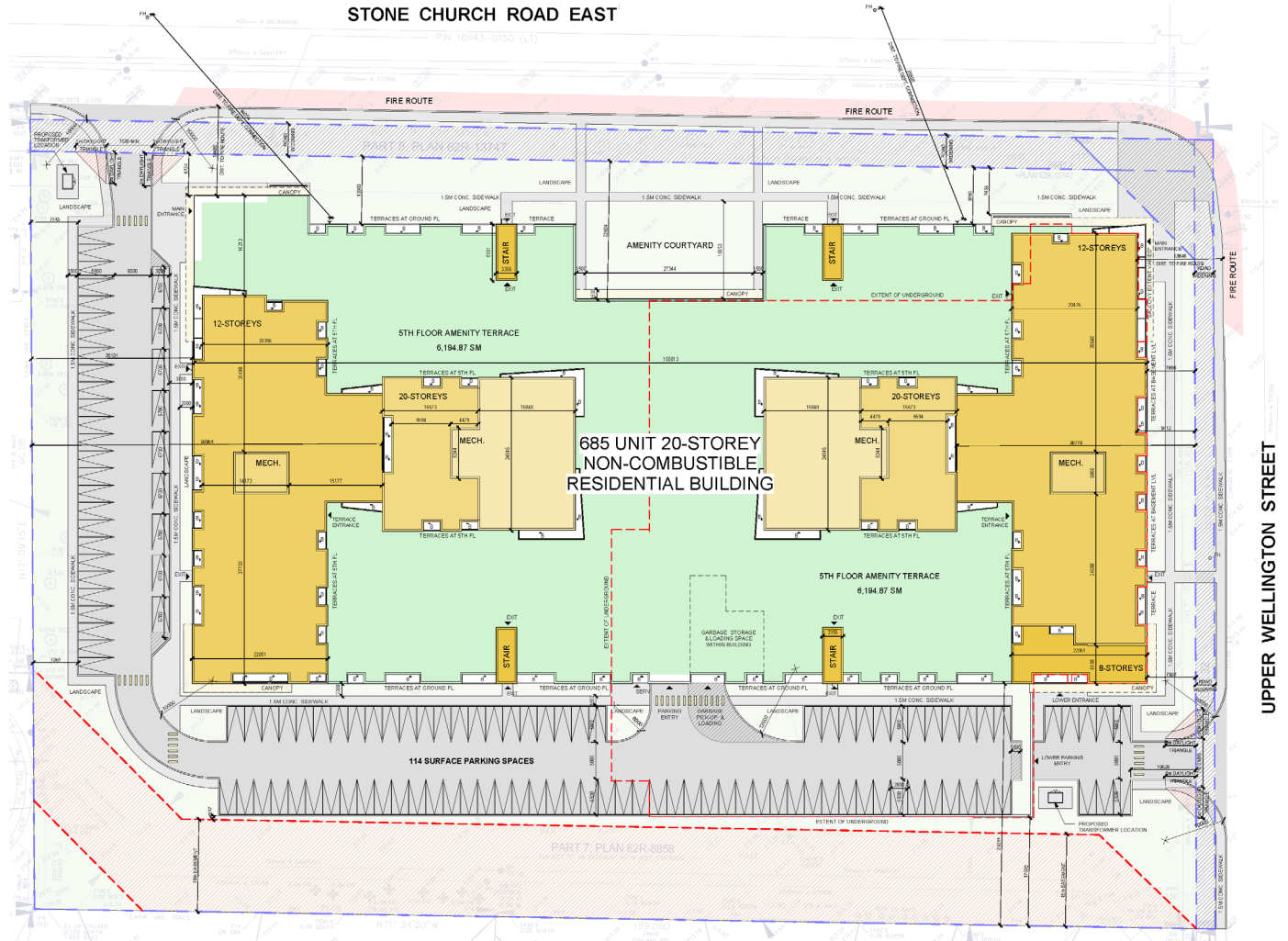
# RENDERINGS



View from Cielo Court

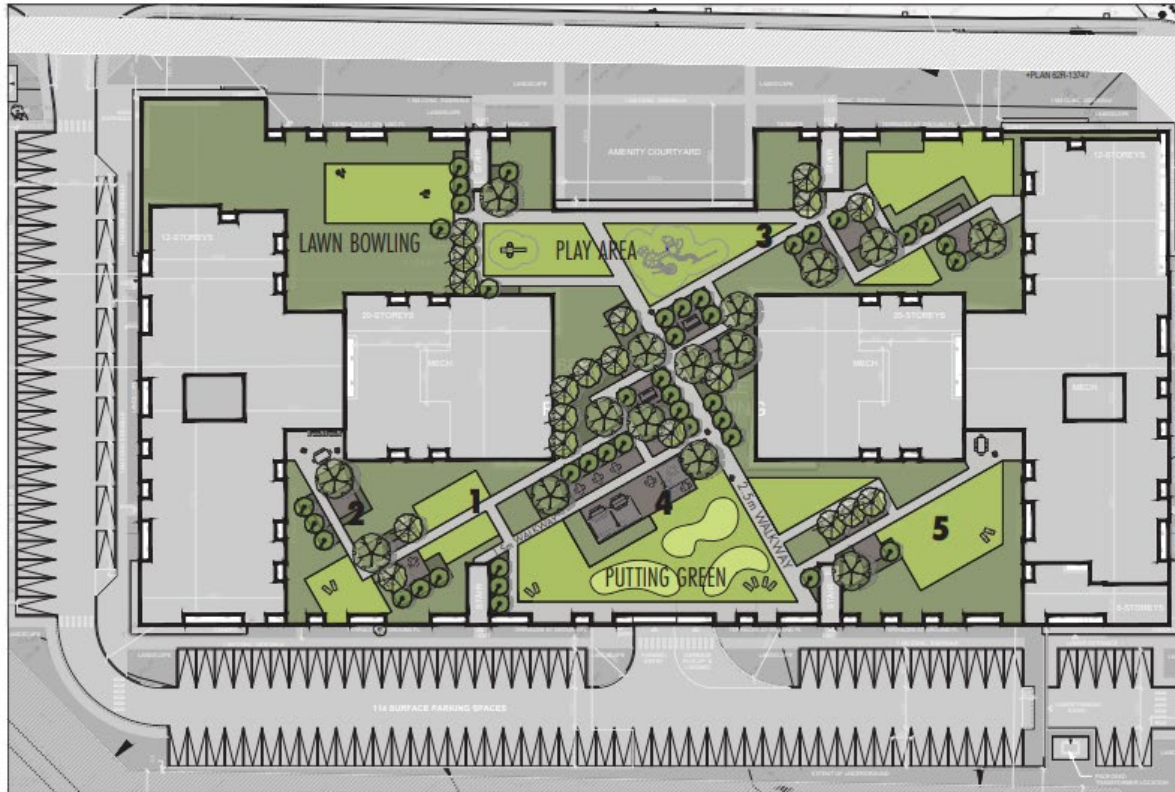
# CONCEPTUAL SITE PLAN

SITE STATISTICS (PROPOSED E3 ZONE)		
REGULATION	AS-OF-RIGHT	PROVIDED
NUMBER OF BUILDINGS	N/A	1
GROUND FLOOR AREA	N/A	10,562m <sup>2</sup>
GFA	N/A	104,459m <sup>2</sup>
NON-RESIDENTIAL GFA	N/A	0.00
LANDSCAPE OPEN SPACE	40%	32%
PAVED SURFACE AREA	N/A	6,128m <sup>2</sup>
BUILDING HEIGHT	8 STOREYS OR 26.0m	20 STOREYS @ 67m
LOT AREA (min)	1350 m <sup>2</sup>	24,095m <sup>2</sup>
LOT WIDTH(min)	30.0 m	189m
FRONT YARD (min)	3.0 m	-
FRONT YARD (max)	7.5 m	4m
REAR YARD (min)	3.0 m	-
REAR YARD (max)	N/A	2m
INTERIOR SIDE YARD (min)	1.5 m	-
INTERIOR SIDE YARD (max)	13.5 m	2m
EXTERIOR SIDE YARD (min)	3.0 m	-
EXTERIOR SIDE YARD (max)	13.5 m	3m
FLOOR AREA RATIO	2.55	4.33
PARKING (min)	N/A	910 SPACES
ACCESSIBLE PARKING	N/A	23 SPACES
BICYCLE PARKING	N/A	162 SPACES
LOADING SPACES	N/A	1 SPACE



# LANDSCAPE CONCEPT

MID HEIGHT PLANTING  
TURF/GRASS



**1.** RAISED VARYING HEIGHT PLANTING BEDS



**2.** PRIVATE WORK AND SOCIAL NOOKS



**3.** INTEGRATED SEATING INTO PATH/PLANTING BOARDER



**4.** LARGE FURNISHED COMMUNAL SPACES



**5.** TURF AREAS WITH CASUAL/ LOUNGE AMENITY

# LANDSCAPE CONCEPT



# TECHNICAL CONSIDERATIONS

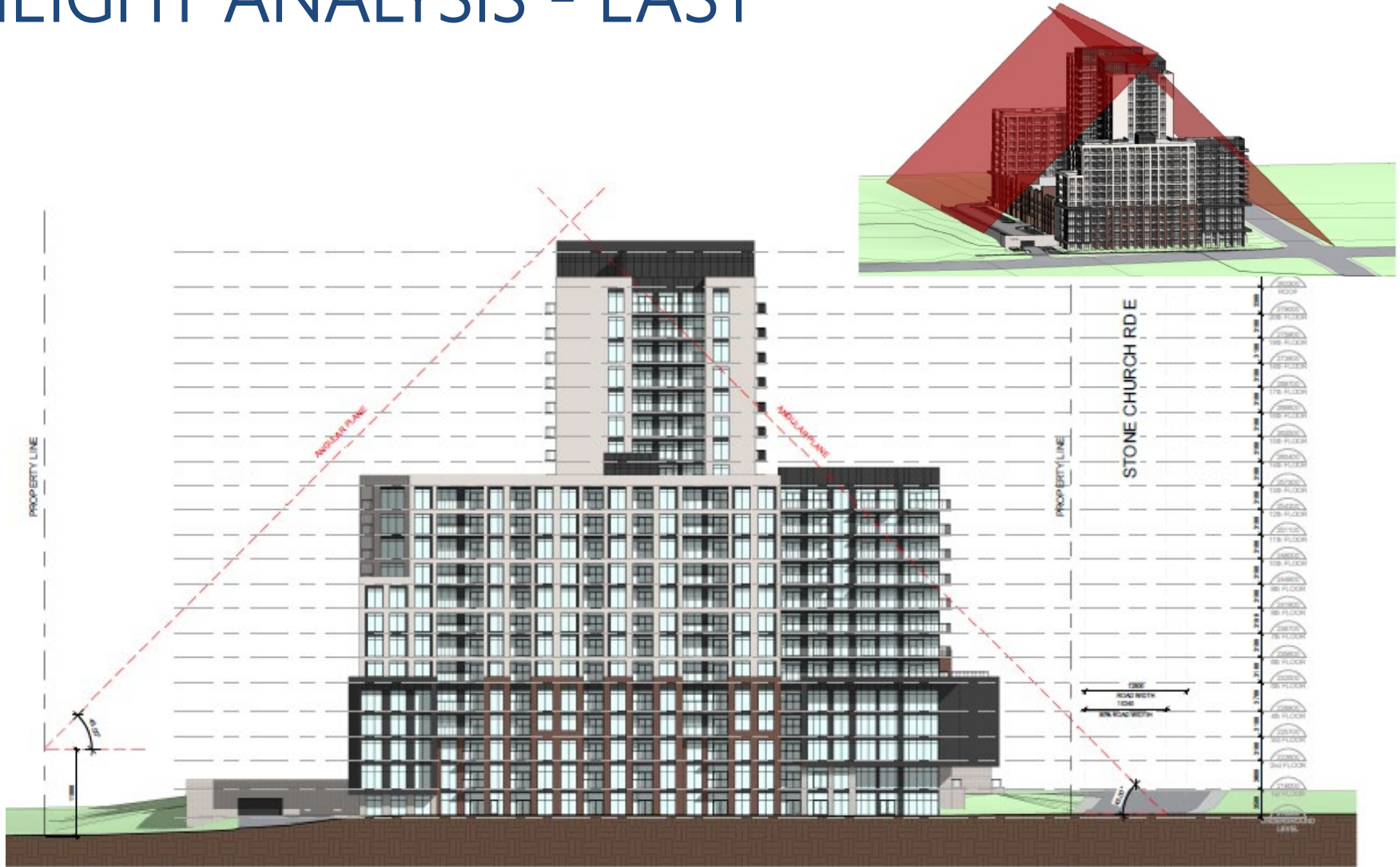
## Wind

- A quantitative wind study is being completed to assess the existing built environment, and the proposed tower in a 400 metre radius.
- Building massing will be modeled to understand potential impacts to the public realm, including adjacent transit stops, building entrances and outdoor amenity spaces and assess the comfort level of these areas.
- Recommendations for mitigation strategies will be implemented through the detailed design of the proposal and the site plan control process if required ie) wind screens, coniferous landscaping.

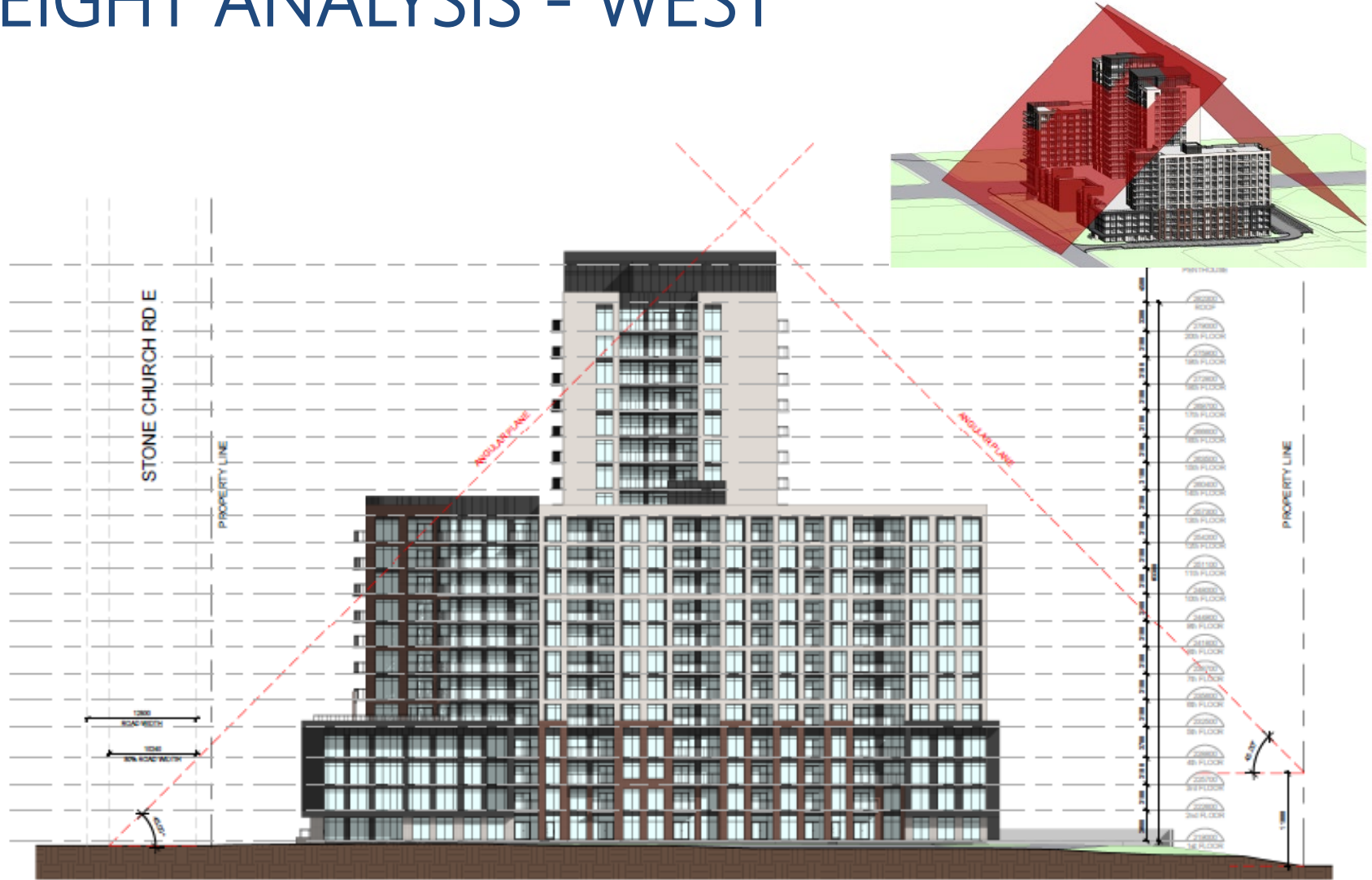
## Servicing

- Domestic water and fire protection service connections will be made to the 400mm watermain on Stone Church Road East.
- Sanitary service connection will be made to the sanitary sewer located within the municipal servicing easement.
- Storm service connection will be made to the storm sewer located within the municipal servicing easement.
- A SWM tank will be located within the underground parking garage which will control flows from the developed portion of the development.
- Permeable pavers will be used to reduce the storm runoff coefficients.

# HEIGHT ANALYSIS - EAST



# HEIGHT ANALYSIS - WEST





# SHADOW STUDY



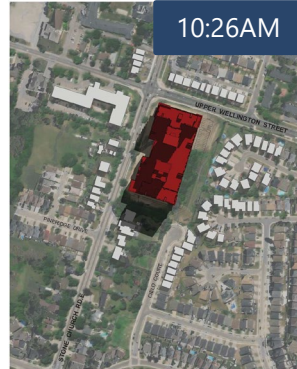
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MARCH 21, 8:26 AM  
UTC: 146403  
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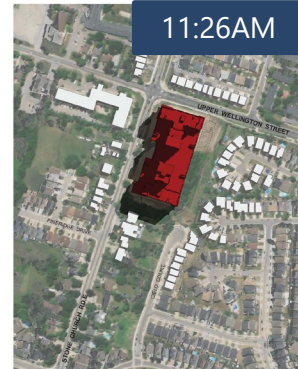
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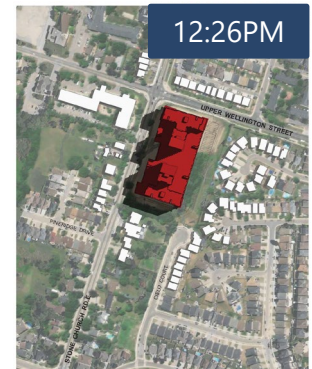
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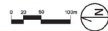
11:26AM

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12:26PM

MARCH 21, 12:26 PM  
UTC: 146403  
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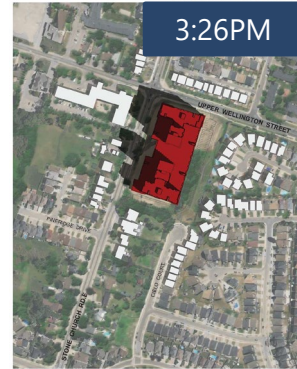
1:26PM

MARCH 21, 1:26 PM (Solar Noon)  
UTC: 146403  
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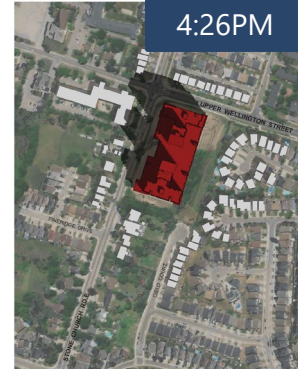
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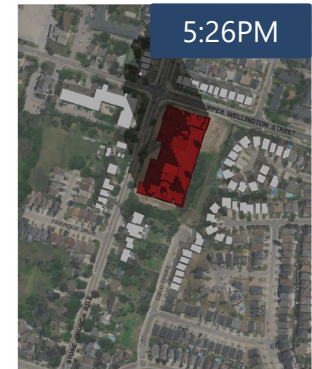
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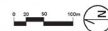
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5:26PM

MARCH 21, 5:26 PM  
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## MARCH 21



# ELEVATIONS - EAST



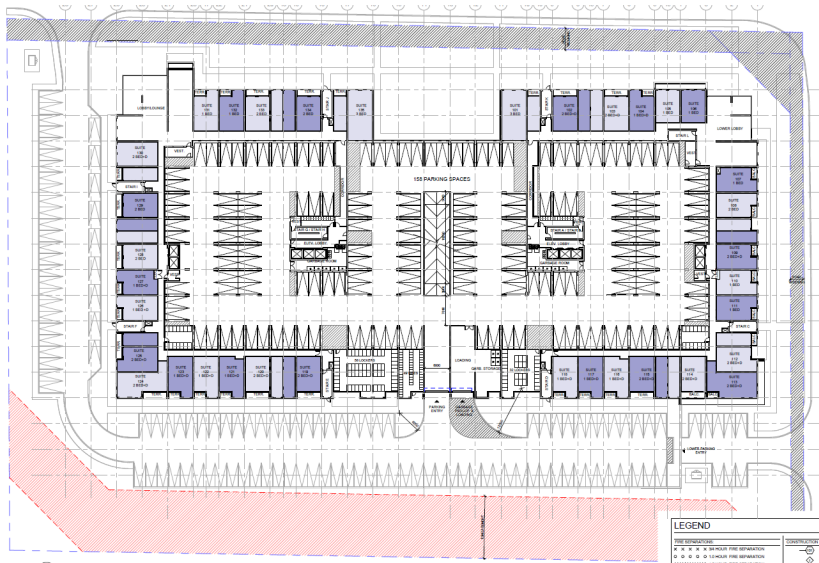
Interior

# ELEVATIONS - WEST

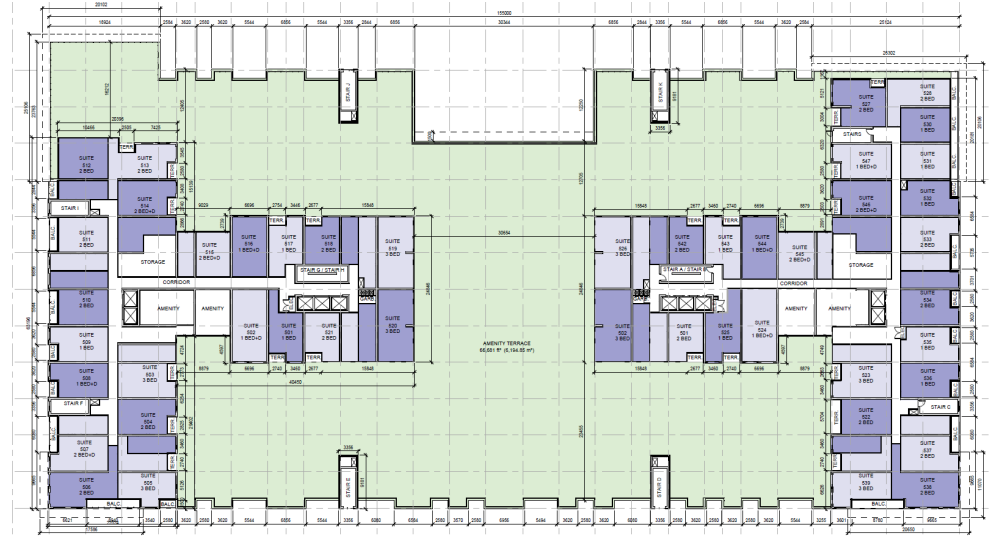


Interior

# FLOOR PLANS

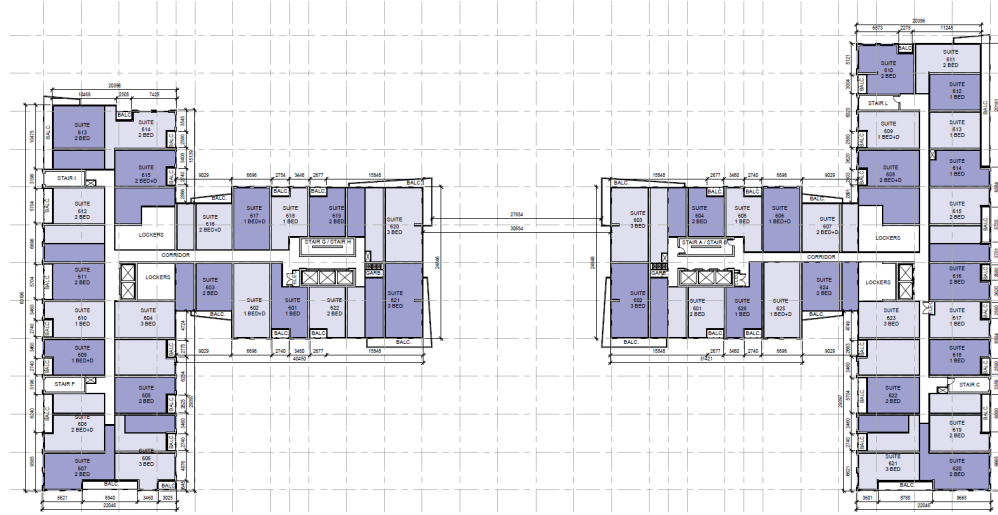


GROUND FLOOR

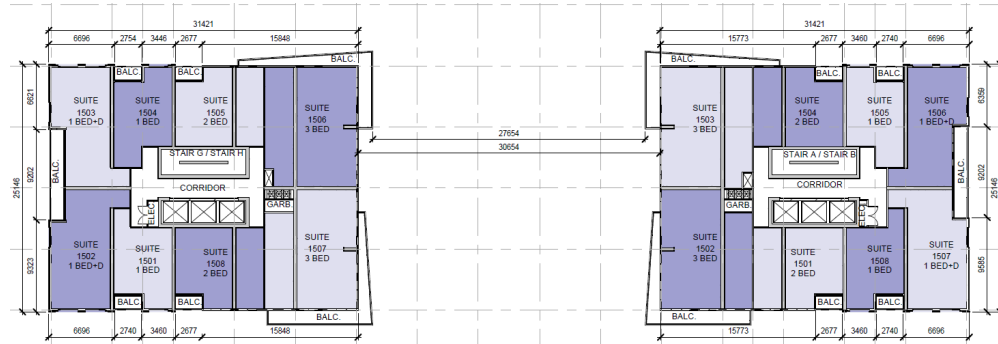


5th FLOOR

# FLOOR PLANS



6th FLOOR



14th FLOOR

**THANK YOU**